

Merton Council

Planning Applications Committee Agenda

Membership

Councillors:

Dave Ward (Chair)
Stephen Crowe (Vice-Chair)
Stephen Alambritis MBE
Billy Christie
David Dean
Nick Draper
Joan Henry
Simon McGrath
Carl Quilliam
Peter Southgate

Substitute Members:

Eloise Bailey
Edward Foley
Edward Gretton
Najeeb Latif
Dennis Pearce
John Dehaney

Date: Thursday 9 December 2021

Time: 7.15 pm

Venue: Merton Civic Centre, London Road, Morden SM4 5DX

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democratic.services@merton.gov.uk or telephone 020 8545 3615.

All Press contacts: communications@merton.gov.uk or 020 8545 3181

Planning Applications Committee Agenda

9 December 2021

- | | | |
|----|---|--------------|
| 1 | Apologies for absence | |
| 2 | Declarations of Pecuniary Interest | |
| 3 | Minutes of the previous meeting | 1 - 4 |
| 4 | Town Planning Applications | |
| | The Chair will announce the order of Items at the beginning of the Meeting. | |
| | A Supplementary Agenda with any modifications will be published on the day of the meeting. | |
| | Note: there is no written report for this item | |
| 5 | RO 274-320 Cannon Hill Lane SW20 9HN | 5 - 36 |
| | <i>Application: 21/P1851</i> | |
| | <i>Ward: Lower Morden</i> | |
| | <i>Recommendation: Refuse Permission</i> | |
| 6 | 18 Clifton Road. Wimbledon, SW19 4QT | 37 - 64 |
| | 21/P2567 | |
| | Village Ward | |
| | Recommendation: GRANT Planning permission subject to conditions | |
| 7 | 44 Commonsides East, Mitcham CR41HJ | 65 - 94 |
| | 21/P1863 | |
| | <i>Ward: Pollards Hill</i> | |
| | RECOMMENDATION: Grant planning permission subject to conditions and S.106 agreement to secure private waste collection | |
| 8 | Wimbledon College, Edge Hill. Wimbledon. SW19 4NS | 95 - 118 |
| | <i>Application Number: 21/P1519</i> | |
| | <i>Hillside: Ward</i> | |
| | RECOMMENDATION: GRANT Planning Permission, Subject to no objection from Thames Water and Conditions | |
| 9 | 290-230A Kingston Road. SW20 8LX 20P3165 | 119 -
152 |
| | <i>Application Number: 20/P3165</i> | |
| | <i>Ward: Merton Park</i> | |
| | <i>Recommendation: Grant Permission subject to conditions and s.106 legal agreement.</i> | |
| 10 | 290-230A Kingston Road SW20 8LX 20P3168 | 153 -
194 |
| | <i>Application: 20/P3168</i> | |

Ward: Merton Park
Recommendation: Grant Permission subject to conditions and s.106 legal agreement.

- | | | |
|----|---|--------------|
| 11 | 81-83 Wimbledon Hill Road SW19 7QS
<i>Application Number: 21/P0119</i>
<i>Ward: Hillside</i>
Recommendations: GRANT Planning Permission Subject to Conditions and S106 Agreement | 195 -
236 |
| 12 | Planning Appeal Decisions
Officer Recommendation:
That Members note the contents of the report. | 237 -
242 |
| 13 | Planning Enforcement - Summary of Current Cases
Officer Recommendation:
That Members note the contents of the report. | 243 -
250 |

Note on declarations of interest

Members are advised to declare any Disclosable Pecuniary Interest in any matter to be considered at the meeting. If a pecuniary interest is declared they should withdraw from the meeting room during the whole of the consideration of that matter and must not participate in any vote on that matter. For further advice please speak with the Managing Director, South London Legal Partnership.

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Agenda Item 3

All minutes are draft until agreed at the next meeting of the committee/panel. To find out the date of the next meeting please check the calendar of events at your local library or online at www.merton.gov.uk/committee.

PLANNING APPLICATIONS COMMITTEE

21 OCTOBER 2021
(7.15 pm - 8.54 pm)

PRESENT Councillors Councillor Dave Ward (in the Chair),
Councillor Stephen Crowe, Councillor Stephen Alambritis,
Councillor Billy Christie, Councillor Nick Draper,
Councillor Joan Henry, Councillor John Dehaney, Councillor
Najeeb Latif, Councillor Simon McGrath and
Councillor Peter Southgate

ALSO PRESENT Councillor Eleanor Stringer

Jonathan Lewis (Development Control Team Leader (South)),
Leigh Harrington (Planner), Lesley Barakchizadeh (Interim
Building and Development Control Manager), Andrew Robertson
(Head of Democracy and Electoral Services) and Richard
Seedhouse (Democratic Services Officer)

**ATTENDING
REMOTELY** Councillor Nigel Benbow

Tim Bryson (Development Control Team Leader (North)) and
Amy Dumitrescu (Democracy Services Manager)

1 APOLOGIES FOR ABSENCE (Agenda Item 1)

Apologies for absence were received from Councillors Quilliam and Dean.
Councillors Latif and Dehaney attended as substitutes.

2 DECLARATIONS OF PECUNIARY INTEREST (Agenda Item 2)

There were no declarations of interest.

3 MINUTES OF THE PREVIOUS MEETING (Agenda Item 3)

RESOLVED: That the minutes of the meeting held on 23 September 2021 were
agreed as an accurate record.

4 TOWN PLANNING APPLICATIONS (Agenda Item 4)

The Committee noted the amendments and modifications to the officer's report. The
Chair advised the items would be heard in reverse order; item 7, 6 and then 5. For
the purpose of the minutes, items appear minuted in agenda order.

5 GARAGE BLOCK, HEYFORD AVENUE, LAND REAR OF 145 & 147 SPRINGFIELD AVENUE, RAYNES PARK (Agenda Item 5)

Proposal: Demolition of Garage block and erection of a 2 bed bungalow with habitable roofspace.

The Development Control Team Leader (South) presented the report and members commented on the application.

The Chair moved to the vote on the officer's recommendation and it was

RESOLVED:

that the Committee granted planning permission subject to conditions.

6 52B RUSSELL ROAD, WIMBLEDON, LONDON, SW19 1QL (Agenda Item 6)

Proposal: Replacement of bedroom window with doors

The Development Control Team Leader (North) presented the report.

The Committee received a verbal representation from two objectors who made points including:

- The current application was factually incorrect and no notices had been affixed outside the property
- There had been no building control completion certificate
- The application if granted would set an unacceptable precedent
- The proposal would harm the character of the building

The Committee received a verbal presentation from the Applicant who made points in response including:

- Any dispute between the freeholders was not a planning consideration
- The joinery was inkeeping with others within the area

A statement was read out on behalf of Councillor Nigel Benbow on the Application, stating that the doors were unsuitable and out of keeping with the current building.

The Development Control Team Leader (North) responded to the points raised advising that neighbour letters had been sent as required and noting that the issues raised around freeholder/leaseholder disputes were not a planning matter.

Members commented on the application noting that the doors were at ground level and would therefore not lead to any loss of light.

The Chair moved to the vote and it was

RESOLVED:

That the Committee granted planning permission subject to conditions.

7 EDDIE KATZ, 42 STATION ROAD, COLLIERS WOOD, LONDON, SW19 2LP
(Agenda Item 7)

Proposal: Redevelopment of the site including the erection of buildings (1x10 storeys block and 1x13 storeys block) to provide a mixed use scheme including 116x residential units (use class C3) and commercial floorspace (use Class E). Together with associated car and cycle parking, hard and soft landscaping and associated infrastructure.

The Planner presented the report and brought to members' attention amendments to the S106 heads of Terms and a number of the planning conditions as set out in the Supplementary Agenda.

The Committee received verbal presentations from two objectors who made points including:

- The proposal was too high and too dense and the heat pumps would add noise.
- The proposal would overshadow the area next to it and close off views of the sky to the East.
- The proposal would increase traffic and would cause difficulties for emergency services access to the proposed building.
- The proposal contradicted the principles in the tall buildings background paper as well as policies DMD2 and DMD4.
- The proposal would lead to a loss of light for nearby homes and would cause overlooking to nearby homes due to overhanging balconies.
- The size and density of the proposal would create significant noise and odour and destroy the quiet character of the area.

The Applicant spoke in response and made points including:

- The Applicant had worked closely on the designs with Thames Water, the Environment Agency and the Fire Brigade.
- The Applicant had held two public consultation events and made changes following feedback received including reducing the design from 15 to 13 storeys.
- The Applicant believed that the heights were in-keeping with the precedent in the area.
- Daylight modelling had shown 100% compliance with the guidance
- The proposal would provide new housing and public realm
- The massing had been carefully considered

The Chair noted that the two ward Councillors who would be speaking were Abbey Ward Councillors and the application was located in Colliers Wood Ward. However, given that the roads directly affected by the proposal fell within Abbey ward, the Chair had agreed to these councillors speaking.

Councillor Eleanor Stringer gave a verbal presentation to the Committee noting that whilst there were many positive aspects to the application, she had concerns

regarding overdevelopment of the site in an area of historic importance, noting that the tallest recent approvals were 7 storeys high and noting the privacy concerns of residents.

A statement was read out on behalf of Councillor Nigel Benbow, stating that the design of the buildings did not blend in with the surroundings, that he had concerns around the height and mass of the proposals and that it would result in loss of light to local properties.

The Development Control Team Leader (South) responded that the wider overall context had been considered and noted that the PTAL rating within the area was up to 4.

The Planner responded to members' questions:

- A fire engine would be able to access the site and the proposal was covered with a fire safety statement.
- The decision was an indicative decision which would then be passed to the Mayor of London for a final determination.
- The density of the proposal was 1349 habitable rooms per hectare.
- Whilst some elements were 100% compliant there were varying parts within it and there were some reductions in the visual sky element on some properties.

Members commented on the proposal noting the provision of affordable housing and also expressing concerns on the height of the proposals and the impact on the area.

The Chair moved to the vote and it was

RESOLVED:

That the Committee granted planning permission subject to any direction from the Mayor of London the completion of a S106 agreement and conditions.

8 PLANNING APPEAL DECISIONS (Agenda Item 8)

The Committee noted that a report would be within the agenda for the next meeting.

9 PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES (Agenda Item 9)

The Committee noted the report.

PLANNING APPLICATIONS COMMITTEE DECEMBER 2021

APPLICATION NO.

21/P1851

DATE VALID

29/05/2021

Address/Site: LAND TO THE REAR OF 274-320 CANNON HILL LANE (WITH ACCESS OFF CANNON HILL LANE BETWEEN NO.318 & 320 AND PROPERTIES 322 & 324 CANNON HILL LANE), RAYNES PARK, LONDON SW20 9HN

Ward: Lower Morden

Proposal: ERECTION OF A TWO STOREY-FOUR BEDROOM DWELLING, AND A TWO STOREY-TWO BEDROOM DWELLING, INSTALLATION OF DRIVEWAY WITH PARKING, LANDSCAPING, ALONG WITH ASSOCIATED WORKS.

Drawing No.'s: 001 Rev C; 002 Rev A; 003 Rev A; 004 Rev A; 005 Rev A; 006 Rev A; 007 Rev A; 19001_008; Site Location Plan; Tree Constraints Plan

Contact Officer: Jourdan Alexander (020 8545 3122)

RECOMMENDATION

Refuse Permission

CHECKLIST INFORMATION

- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: Yes
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 28
- External consultations: No
- Conservation area: No
- Listed building: No
- Designated Open Space – Yes- 'Raynes Park Playing Fields Open Space'
- Flood Zone – Site includes areas of Flood Zone 1 (low probability) and Flood Zone 2 (medium probability). The area defined as Flood Zone 2 is on the site's eastern part and away from the development

- Archaeological priority zone: No
- Tree protection orders: Yes
- Controlled Parking Zone: No
- Public Transport Accessibility Level - PTAL 1b (poor public transport accessibility).

1. INTRODUCTION

- 1.1 This application is being brought to the Planning Applications Committee for determination due to number of objections received, where concerns expressed run contrary to officer's reasons to refuse permission.

2. SITE AND SURROUNDINGS

- 2.1 The site is situated to the north of a row of two storey maisonettes who occupy the land at 274-320 Cannon Hill Lane. The Raynes Park Playing Fields, which have recently been redeveloped by the All England Tennis Club with newly built indoor and outdoor tennis courts are located approximately 20m from the site's northern boundary.
- 2.2 The site is accessed via a private lane (approx. 2.5m wide) between 318-320 and 322-324 Cannon Hill Lane.
- 2.3 There is a single storey building on the plot to the immediate west of the site, this building and site is in use as a nursery. Car parking for the nursery is provided at the end of the access lane and in use for associated drop-off / collection.
- 2.4 The applicant site is undeveloped with no buildings, it has a number of mature trees some of which are protected by Tree Protection Orders 'TPOs'(TPO ref: MER 303 and 316). The subject land is enclosed on all sides by boundary fencing.
- 2.5 Draft Local Plan document - 'Proposed Changes to the Merton Sites and Policies Environmental Maps – Raynes Park' (page 42) sets out (with illustrative map of Open Space omitted):

Site 34: 274-312 Cannon Hill Lane, Raynes Park Open Space (P002)

This site is located at the rear of six residential properties along Cannon Hill Lane. It is privately owned and is accessible only via a shared and gated driveway in between 320 and 322 Cannon Hill Lane. The All England Community Sports Ground lies directly adjacent to the north and the land to the west is currently unused (formerly a Scout Hall). The site is approximately 0.2 hectares in size and contains overgrown vegetation and some larger trees.

The site does not form part of the adjacent site known as Raynes Park Playing Fields, however it has been give the same designation. Given that it is landlocked, the site does not offer any public accessibility or visual amenity and is not designated as a Green Corridor or SINC.

It is recommended that the Open Space designation be removed for this parcel of land as it does not meet the Open Space criteria.

3. CURRENT PROPOSAL

- 3.1 The proposal seeks planning permission to construct two detached houses on the western end of the site. The first house would be two-storey, four bedroom and the other being two-storey, two bedroom. Both houses would have window openings to all elevations, with living spaces at ground floor and bedrooms at first floor. The application proposes that the buildings would be constructed from modular timber frames with timber cladding and secondary panel cladding. The applicant states their intention it to create low-energy, sustainable homes.
- 3.2 A driveway access is proposed to the western corner of the site, this would connect to the end of the private lane between 318-320 and 322-324 Cannon Hill Lane. This driveway is shown to have space for 2-3 vehicles to park.
- 3.3 Also involved is landscaping works with some tree removal and new trees and planting established.
- 3.4 The new dwellings would have the following approximate dimensions:
- 4 bedroom house:
- Height (two storey) - 7m
 - Width (southern and northern elevation) – 11.6m (excluding porch)
 - Width (western and eastern elevation) – 8.3m
- 2 bedroom house:
- Height (two storey) - 7m
 - Width (southern and northern elevation) – 8.3m
 - Width (western and eastern elevation) – 5.7m

4. RELEVANT PLANNING HISTORY

- 4.1 99/P2232 - REDEVELOPMENT OF SITE INVOLVING THE ERECTION OF 3 X 2 BED BUNGALOWS (OUTLINE PLANNING APPLICATION). Refused.
- Reasons for refusal:**
- 1. The proposed development would be harmful to an important ecological/natural habitat resulting in the loss of a protected woodland area and likely harm to the protected Oak tree to the detriment of the open character of the locality, contrary to Policies EN.2, EN.10, EN.11 and EB.20 of the Adopted Unitary Development Plan (April 1996) and Policies NE.8, NE.9 and NE.13 of the Deposit Draft Unitary Development Plan (September 1999).**
 - 2. The proposed development would provide inadequate servicing arrangements for the management of the development and an inadequate means of access to the site for emergency vehicles, likely to prejudice highway safety, contrary to Policy M.11 of the Adopted Unitary**

Development Plan (April 1996) and Policy RN.4 of the Deposit Draft Unitary Development Plan (September 1999)

- 4.2 00/P1846- OUTLINE APPLICATION FOR REDEVELOPMENT OF SITE INVOLVING THE ERECTION OF 3 X 2 BED BUNGALOWS AND ALTERATIONS TO THE EXISTING ACCESS. **Refused.**
- 1. The proposed development would be harmful to an important ecological/natural habitat resulting in the loss of a protected woodland area and likely harm to the protected Oak tree to the detriment of the open character of the locality, contrary to Policies EN.2, EN.10, EN.11 and EB.20 of the Adopted Unitary Development Plan (April 1996) and Policies NE.8, NE.9 and NE.13 of the Deposit Draft Unitary Development Plan (September 1999).**
- 2. The proposed development would provide inadequate servicing arrangements for the management of the development and an inadequate means of access to the site for emergency vehicles, likely to prejudice highway safety, contrary to Policy M.11 of the Adopted Unitary Development Plan (April 1996) and Policy RN.4 of the Deposit Draft Unitary Development Plan (September 1999)**

Land To the Rear of 318-344 Cannon Hill Lane Raynes Park London SW20 9HL

- 4.3 20/P0773 - CHANGE OF USE FROM SCOUT HALL (D2) TO NURSERY (D1). CONSTRUCTION OF CAR PARKS TO REAR AND ACCESS LANE WITH BLOCK PAVING, ERECTION OF ACCESS RAMP TO BUILDING, AND LANDSCAPING. Grant Permission subject to Conditions

5. CONSULTATION

- 5.1 Public consultation was undertaken by way of press notice, site notice and by post sent to neighbouring properties.
- 5.2 30 letters were received objecting to the proposal for the following reasons as summarised:
- There was no consultation on the change of status of the land.
 - The land provides health benefits to residents through being surrounded by trees, bird and wildlife.
 - The proposal would harm the value of the site in providing ecology and related biodiversity.
 - Climate Emergency - The proposal would impact carbon dioxide storage through impacts to trees and planting, which has an associated impact on climate change.
 - The site provides a storm water and drainage function.
 - There are restrictive covenants on the land preventing development.
 - The new houses would impact levels of privacy of adjacent houses.
 - The houses could be sold off separately.
 - The tree survey is 2.5 years old and needs updating.
 - There is a TPO'd tree on the site which needs to be clarified.
 - Development would compound drainage issues and flood risk for local residents.

- The proposal would result in noise disturbance both from the dwellings and from use of the access lane.
- The construction would cause significant disturbance.
- Construction vehicle cannot access the site.
- Emergency vehicles would be unable to access the site and limited details about access are provided.
- No details are provided about water, sewage or electricity.
- The proposal would impact the nursery, due to disturbance, in addition construction vehicles could endanger lives.
- The proposal would impact adjacent houses trees and hedges.
- There is inadequate community facilities to support the increased residents.
- The existing trees on the site help screen the Cannon Hill houses from the Tennis Club Facilities to the north. The screening would be reduced by the works.
- Local flooding would be exasperated by the proposal.
- The pre-app report notes that the release of the site for a single dwelling would contribute very little to the Council's housing targets.
- The proposal would include 2-3 car parking spaces, which would not encourage active transport.
- The applicant's open space assessment is weak, it does not persuade the reader that the land should be released for development. The land is not surplus to requirement, there is no provision of public or communal play space. In addition, the owner has a responsibility to up-keep the land regardless of development potential.
- The site is important for nature conservation due to its history and species diversity.
- The development would provide a luxury house that does not benefit the wider population.
- The existing land provides greater decarbonisation benefits than houses with solar panels and heat pumps.
- The proposal would reduce light into adjacent gardens
- The proposal would have a detrimental negative effect on the character of the local area.
- The proposal would negatively impact the value of my site.
- The proposal would create parking pressures on street.
- I believed the land was metropolitan open land.
- The site access includes land that the applicant does not own.
- There is uniform residential development pattern along Cannon Hill Lane. The development would not be consistent with this pattern and therefore would be out of keeping with the surrounding buildings.
- The application does not include a flood risk assessment.
- A procedural error in the application submission which means the address, ownership certificates and the redline boundary must be amended and the application would need to be re-consulted.
- The scheme would result in a loss of 2,315 sqm designated Open Space without any replacement
- The scheme would have significant conflict with the approved existing nursery use on adjoining site. The scheme is for 2 self-contained houses, not a family house with an annex. The shared use of access drive would prejudice the

carefully managed and safe use of the access by the nursery school children and parents.

- The submission fails to consider the proposal's impact on the TPO Oak tree on the nursery site and other trees on the application site.
- No Arboricultural Impact Assessment has been submitted.
- The site provides an important ecological route from the Pyl Brook/St Catherine's Field towards Cannon Hill Common. There is a potential for this open space to function as an enhanced corridor and network of ecological habitats and green infrastructure has grown as a result of the nursery school activities on the adjoining land.
- The planning application fails to demonstrate that the proposed car park and turning head can be provided on site.
- The proposal would provide inadequate serving arrangement.

5.3 1 letter of support was received as summarised:

- The modern eco housing is sympathetic in style to the green environment.
- New housing should be supported
- The land itself is not useable or enjoyable the proposal would be a great form of regeneration.

5.4 Tree Warden Group Merton (TWGM)

We oppose the removal of Open Space status from this land for the following reasons:

- a. Climate Emergency – loss of trees and planting would have a negative impact on the amount of carbon dioxide being stored in plants, trees and soil.
- b. Value of the land to residents - the land is "visually accessible" to the Cannon Hill Lane residents, providing a "positive impact on communities' mental and physical health".
- c. Ecological value of the land – the lane has biodiversity value with TPO trees, scrubland and animal habitats.
- d. The actual planning application - If the land were to lose Open Space status and the application were to be considered by the PAC, we are concerned by the discrepancy between the applicant's plans which seem to show just nine trees and the council's list of 11 trees on the site with TPOs (orders 303 and 316 (2000) NB woodland status removed in 2000, shown in Appendix 1.

Furthermore, the large A category oak tree labelled T03 on is, despite being outside the red line boundary of the Tree Constraints Plan, affected by the proposed development but not shown on the Site Plan.

5.5 Rayne's Park and West Barnes Residents Association

Open Space status of the land should be retained (see email dated 16 Jun, below) because of its biodiversity and natural beauty. The land, and its trees, screen residents from the noise and light from the AELTC domes and tennis courts.

- a) We are concerned that the applicant's plans show 9 trees protected by TPOs, whereas the Council's list shows 11 protected trees on the site.
- b) Trees in residents' gardens form part of the beauty of local landscape.
- c) It would have been better if the land was not cleared prior to the Preliminary Environmental Assessment, as this impact biodiversity

- d) The current proposals are for the 1-bed house to be a “granny annex” to the bigger house with the whole site under one ownership. Planning officers have raised concerns about the long-term future of having two houses under one ownership (para 6.10 of the Pre-App Report).
- e) Loss of privacy from the 4 bedroom house
- f) There are risks concerning emergency access
- g) Footway would be obstructed during bin collection.
- h) Residents say that a previous owner placed a restrictive covenant preventing any buildings being erected on the land to preserve it from development. Also, that there is a restrictive covenant preventing vehicles weighing over 30cwt from using the access way between 320 and 322, because the services are close to the surface.
- i) The proposal would negatively impact carbon dioxide being stored in plants and trees.

5.6 Wimbledon Swift Group

Advising about the features that could be incorporated into the scheme to improve swift habitats.

5.7 CLlr Nicholas Mclean

My objection is based on the following:

- A decision to change the land’s Open Space status without consulting neighbours would lack transparency and seems to be undemocratic.
- The applicant’s plans seem to show 9 tree protected by TPOs; the council’s list shows 11 trees with TPOs. This requires clarification
- Can the applicant demonstrate that there is no horticultural covenant on the land.

5.8 Planning officer’s comments:

- The application proposes to build on open space, rather than remove the open space designation. The open space designation can only be removed through an updated Local Plan to change this designation.
- Property prices along with private covenants are not material planning considerations.
- The application has been fully re-consulted with the red line boundary adjusted and description of land amended.
- Two trees recorded on the Council’s TPO listing were no longer found present during the tree survey.

5.10 LBM Transport Planner:

Access - The site is accessed via a 2.6m wide strip of land between 318-320 and 322-324 Cannon Hill Lane The access also serves the adjoining permitted nursery site, in the south-western corner of the site, with parking provided for 6 vehicles.

Car Parking - The proposal should provide 2 car parking spaces in accordance with London Plan standards.

Cycle parking - The proposal would require 2 cycle spaces per each dwelling in accordance with the London plan.

Traffic generation - Given the low volume of trips forecast for the Scheme it is not expected that trips associated with the Scheme will have a material impact upon the operation of the nursery or the adjoining highway network.

Refuse - Waste collection points should be located within 30 metres of residential units and within 20 metres of collection vehicles. The proposal fails to provide the location of the refuse storage within 20 metres of the adopted highway. Details of number of refuse storage bins, collection and recycling arrangements needed for the proposal should be submitted to the LPA approval.

Deliveries and Servicing - For larger vehicles the access is unsuitable and should seek to agree alternative delivery and servicing arrangements (e.g. use of smaller vehicles, off-peak delivery times) where practicable.

Emergency Access - The access serving the site, at 2.6m in width, falls short of the minimum requirements for access set out by the LFB. Mitigation in the form of the installation of a fire hydrant (or otherwise agreed fire management and safety plan) should be agreed with the London Fire Brigade.

5.11 LBM Policy and Regeneration Officer:

Open Space - It is considered that the proposed development meets the exception set out in NPPF 97(a) as the land has been identified in the Green Infrastructure Study 2020 as surplus and the open space designation for this particular site is therefore proposed for removal.

Ecology- The applicant has submitted a Preliminary Ecological Appraisal (PEA) indicating the results of an Extended Phase 1 Habitat Survey, carried out in October 2020. The methodology and findings of the survey are appropriate for this site and proposed development. The report concludes that no evidence of protected species was found on site.

Should you recommend approval for the proposed development, the recommendations and enhancements outlined in Section 4 of the PEA report should be included as suitably worded conditions. This is to ensure the proposed development minimises any adverse effects on the population or conservation status of protected or priority species and protected habitats and provides net gains for biodiversity, in line with Local Plan policies CS13 and DM01 and NPPF para 170.

I note that the Landscape Plan indicates that more than half of the site will contain woodland features, plants and trees, which are welcomed.

5.12 LBM Arboricultural Officer:

The applicant has not provided an Arboricultural Impact Assessment. There is no plan that relates the existing trees to the proposed site layout. More accurate information is required. In the absence of such information, I would recommend a refusal of planning consent. In addition, there is a young oak tree shown on the site plan, but not on the arboricultural constraints plan behind 308 Cannon Hill Lane, which provides amenity value.

5.13 LBM Building Control Officer:

Fire brigade access would be required to within 45m of the rooms to the houses/flats. The width of the path/road needed is 3.7m between kerbs. Otherwise, sprinklers will need to be provided and possibly a new fire hydrant if the houses are 100m away from an existing hydrant.

6. POLICY CONTEXT

6.1 National Planning Policy Framework (2019)

- 5. Delivering a sufficient supply of homes
- 9. Promoting healthy and safe communities
- 9. Promoting sustainable transport
- 11. Making effective use of land
- 12. Achieving well-designed places

6.2 London Plan (2021)

Relevant policies include:

- GG1 Building strong and inclusive communities
- GG2 Making the best use of land
- GG3 Creating a healthy city
- GG4 Delivering the homes Londoners need
- GG6 Increasing efficiency and resilience
- D2 Infrastructure requirements for sustainable densities
- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- G4 Open Space
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- H1 Increasing housing supply
- H2 Small sites
- H5 Threshold approach to applications
- H10 Housing size mix
- SI 2 Minimising greenhouse gas emissions
- SI 3 Energy infrastructure
- SI 5 Water infrastructure
- SI 12 Flood risk management

SI 13	Sustainable drainage
T1	Strategic approach to transport
T2	Healthy Streets
T3	Transport capacity, connectivity and safeguarding
T4	Assessing and mitigating transport impacts
T5	Cycling
T6	Car parking
DF1	Delivery of the Plan and Planning Obligations

6.3 Merton Local Development Framework Core Strategy – 2011 (Core Strategy)

Relevant policies include:

CS 8	Housing Choice
CS 9	Housing Provision
CS 13	Open Space, Nature Conservation, Leisure and Culture
CS 14	Design
CS 15	Climate Change
CS 16	Flood Risk Management
CS 17	Waste Management
CS 18	Active Transport
CS 19	Public Transport
CS 20	Parking, Servicing and Delivery

6.4 Merton Sites and Policies Plan – 2014 (SPP)

Relevant policies include:

DM O1	Open space
DM O2	Nature conservation, trees, hedges and landscape features
DM D1	Urban Design
DM D2	Design considerations
DM F1	Support for flood risk management
DM F2	Sustainable urban drainage systems (SuDS) and; Wastewater and Water Infrastructure
DM T2	Transport impacts of development
DM T3	Car parking and servicing standards
DM T5	Access to the Road Network

6.5 Supplementary planning considerations

London Plan Housing SPG - 2016

DCLG Technical Housing Standards - nationally described space standards 2015

Merton Borough Character Study SPD 2021

Merton Borough Small Sites Toolkit SPD 2021

7. **PLANNING CONSIDERATIONS**

7.1 Material Considerations

The key planning considerations of the proposal are as follows:

- Principle of development
- Design and impact upon the character and appearance of the area
- Impact upon neighbouring amenity
- Standard of accommodation

- Transport, parking and cycle storage
- Refuse and recycling
- Sustainability
- Flooding and drainage
- Trees and biodiversity

Principle of development

- 7.2 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The proposal to build residential houses within an unoccupied site designated as Open Space under the current Local Plan sets-up two competing Council objectives-
- 7.3 Firstly to build new housing. This objective is supported under Policy D3 of the London Plan 2021, 'Optimising site capacity through the design-led approach', which states that incremental densification should be actively encouraged by Boroughs to achieve a change in densities in the most appropriate way. Policy H1 'Increasing Housing Supply' and Policy GG4 'Delivering the homes Londoners need'.
- 7.4 At a local level, Core Strategy policies CS8 & CS9 seek to encourage proposals for well-designed and conveniently located new housing that will create socially mixed and sustainable neighbourhoods through physical regeneration and effective use of space.
- 7.5 A central thread that runs through these policies and further engrained within wider policies including London Plan GG2 'Making the best use of land' and the NPPF . 11- 'Making the best use of land', is the notion that developments should make optimal use of the potential of each site.
- 7.6 A competing issue is that the Council seeks to protect and enhance the borough's public and private Open Space network, as per Core Strategy policy CS 13, Sites and Policies Plan 2011 policy DMO1, and London Plan policy G4. The site is presently designated as Open Space within the Sites and Policies Plan 2014.
- 7.7 It is acknowledged that the site's Open Space designation is earmarked for removal within the Council's draft Local Plan currently under consultation. This draft Plan is still at an early stage, which means that the proposed removal of the open space designation along with related policies can only be given limited weight at this time.

Building on Open Space

- 7.8 Merton's Sites and Policies Plan policy DMO1 states that –
Existing designated open space should not be built on unless:
i. an assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or,

ii. the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or,
iii. the development is for alternative sports and recreational provision, the needs for which clearly outweigh the loss.

- 7.9 *Development proposals within designated open spaces, which have met the conditions set in part above, will be required to meet all the following criteria:*
i. the proposals are of a high quality design and do not harm the character, appearance or function of the open space;
ii. the proposals retain and/or improve public access between existing public areas and open spaces through the creation of new and more direct footpath and cycle path links; and,
iii. the character and function of leisure walks and green chains are preserved or enhanced.
- 7.10 As part of the Local Plan review, the Green Infrastructure Study was published in 2020. This assessment provides a borough wide review of open space, green infrastructure and biodiversity and contains a number of recommendations for changes to the Local Plan Environmental Policy Maps.
- 7.11 The Green Infrastructure Study identifies that the site does not form part of the larger adjacent site to the north known as the Raynes Park Playing Fields (now AELTC tennis courts). Nevertheless, it has been given the same designation as 'Outdoor Sports and Playing Fields'. This designation is understood to have been an error when the Sites and Policies Plan was originally mapped, rather than the land being rightfully designated as open space due to having high value ecological or amenity benefits. Notwithstanding whether there has been an error or not, the site does not offer any public accessibility and is not designated as part of a Green Corridor or SINC. The site on its own is therefore not considered to meet the open space criteria.
- 7.12 The applicant has submitted an Open Space Assessment to support the application, which makes reference to the Green Infrastructure Study, while also setting out a number of other considerations and reasons as to why the site does not meet open space criteria. Planning officer's agree with the conclusions.
- 7.13 For these reasons, it is considered that the proposed development meets the exception set out in NPPF paragraph 99, as the land has been identified in the Green Infrastructure Study 2020 as surplus and the open space designation for this particular site is therefore proposed for removal. The development supported by the Open Space assessment also meets the exceptions for building on open space as specified within DM01 i. of the Sites and Policies Plan 2014.
- 7.14 The proposal is considered of high quality design (with respect to building appearance). The site is not considered appropriate in terms of providing

footpath or cycle routes to other spaces given its back of land position, accessed from a private lane, in shared use with a nursery.

- 7.15 In conclusion, the principle of building on designated open space in this instance is acceptable.

Residential development

- 7.16 The London Plan and Merton Local Plans provide strong support for the delivery of new homes. Paragraph 1.4.5 of the London Plan states that to meet the growing need, London must seek to deliver new homes through a wide range of development options.
- 7.17 Policy H1 'Increasing housing supply' marks an increase to Merton's 10 year targets for net housing completions, with the new target set at 9,180 or 918 homes per year. Policy D3 – 'Optimising site capacity through the design-led approach', states that incremental densification should be actively encouraged by Boroughs to achieve a change in densities in the most appropriate way. Core Strategy policies CS8 & CS9 seek to encourage proposals for well-designed and conveniently located new housing that will create socially mixed and sustainable neighbourhoods through physical regeneration and effective use of space.
- 7.18 Given the development seeks to build new houses which would add to the Council's housing stock the principle of a residential development could be supported. However, the acceptability of a residential development requires the applicant to make optimal use of the potential of the site, achieved through a design-led approach (refer D3 London plan – design led and NPPF para 125).

Making effective use of land

- 7.19 The NPPF paragraph 125 states that where there is an existing or anticipated shortage of land for meeting identified housing needs, it is especially important that planning policies and decisions avoid homes being built at low densities, and ensure that developments make optimal use of the potential of each site. Policy D3 of the London Plan requires that development takes a design-led approach, stating – "it must make the best use of land by following a design-led approach that optimises the capacity of sites, including site allocations. Optimising site capacity means ensuring that development is of the most appropriate form and land use for the site".
- 7.20 Within this backdrop, the London Mayor has carried out a London-wide Strategic Housing Market Assessment (SHMA) and Strategic Housing Land Availability Assessment (SHLAA). The SHMA has identified need for 66,000 additional homes per year. To deliver this, London Plan Policy H1 (Increasing Housing Supply) sets the ten-year targets for net housing completions that each local planning authority should plan for. Merton's annual housing target is 918 – an increase from 411 in the London Plan 2016. For London to

accommodate the growth identified in the new Plan in an inclusive and responsible way, every new development is expected to make the most efficient use of land by optimising site capacity. This means ensuring the development's form is the most appropriate for the site.

- 7.21 In delivering these targets considerable emphasis is placed on housing delivery within small sites, this includes the applicant site. London Plan Policy H2 encourages boroughs to support well-designed new homes on small sites and recognises that local character evolves over time and will need to change in appropriate locations to accommodate additional housing on small sites. Thus, while the principle of residential development can be supported, redevelopment should be focused towards optimising housing output.
- 7.22 In this case, the proposal would deliver only one family sized home (4 bedroom), with provisions for the later erection of a small two bedroom house. Whilst it is appreciated that the site has certain constraints in which development must fit. Planning officer's position is that a generously proportioned site could reasonably be expected to accommodate a greater uplift in housing than shown. The application's exploration into the issue of optimising development potential is limited, and does not pragmatically investigate alternative layout and massing options where a greater number of homes could be accommodated.
- 7.23 A notable weakness to the applicant's development approach is that the two houses are positioned near the site's entrance (western area), in such a manner that the development of other areas of the site becomes closed. This is because the two houses would effectively block the formation of an access road or passageway to other areas of the site preventing later development. Further concern is expressed regarding the generous spacing between the two houses each with a bespoke size and orientation that prevents a more compact development evolving. While officer's note that the site does have certain amenity qualities for neighbouring residents such as open feel and greenery, it is considered that the applicant could provide a more cohesive (denser) development whilst still largely retaining much of the site existing qualities.
- 7.24 Furthermore, the perception of a site and the evolution of local character is important to take into consideration. This site has been earmarked for release as designated open space, supported by an assessment concluding the open space to be surplus. Therefore, it would be reasonable to expect the proposal to better embrace site development potential.
- 7.25 Overall, the application fails to take design lead approach. Whilst certain constraints are identified, genuine exploration towards how these could be overcome to facilitate and optimise housing has not been made. Nor does the applicant take a holistic approach to the placement of buildings and structures, which currently act to close off future development potential.

Character and Appearance

- 7.26 The National Planning Policy Framework (NPPF) states that planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. London Plan policy D3, form and layout, states that development proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape, with due regard to existing.
- 7.27 In terms of the Council's own policies, DM D2 seeks to ensure a high quality of design in all development, which relates positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features of the surrounding area. Core Planning Policy CS14 supports this SPP Policy.
- 7.28 The plot where the proposed dwellings would be sited has a woodland character that provides an open feel, and a natural outlook for the existing houses along Cannon Hill Lane. The Council would therefore expect the development to strike a suitable balance between development and maintaining appropriate levels of visual permeability, embracing and working with existing trees and greenery to preserve amenity value.
- 7.29 The applicant's approach seeking to provide contemporary designed buildings that use high quality materials throughout the external (and internal envelope) is supported. The Design and Access Statements sets out that active areas of the dwellings would be treated with a contrasting material to break the surface of the main timber cladding. The buildings would present a base or a framed recess, with windows strategically located to frame views outwards and balance the areas of solid and void. The main timber cladding would have a natural finish that may become blackened to create a natural protective finish. The ground floor cladding to the building would contrast the timber cladding in texture and colour to emphasis the 'active' frontages of the homes.
- 7.30 The submitted elevation details and supporting documents do not include precise details of the external elevations including materials and finish. The visual success of the scheme is contingent on the built design offering differing materials, projection and proportions that have an effect of 'breaking up' the mass of the building into small elements, particularly at upper levels which would be most prominent from outside views.
- 7.31 The applicant's submitted visual illustrations of the houses demonstrates that the proposals could be a compatible form and design, and in harmony with the existing woodland character. Should planning permission have been granted conditions could have been imposed to require detailed drawings with respect to external features including openings so that a suitably interesting and varied development is delivered. Materials would also be conditioned to safeguard a high quality build.

- 7.32 The orientation of external parts of the buildings would effectively embrace the site entrance, whereby there would be obvious arrival points to the houses by way of a projecting porches. There are also sufficient levels of window openings that create activity and views between internal and external positions. The south elevation of the building's which are prominent from the rear gardens and windows of houses along Cannon Hill Lane, provides an adequate balance between glazed and solid parts with the level of glazing appropriately reducing at upper levels.
- 7.33 In terms of building heights, a two storey development setback from the rear boundaries of neighbours would not appear visually imposing or intrusive. The spaces between the buildings would provide high levels of visual permanence and not create an unduly built-up environment.
- 7.34 Notwithstanding comments made previously regarding the development's failure to make effective use of land through a design lead approach. Other elements of the proposal are acceptable on appearance grounds.

Neighbouring Amenity

- 7.35 SPP Policy DM D2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.
- 7.36 A sufficient separation distance would exist (23m minimum) between the proposed houses and closest neighbouring homes along Cannon Hill Lane. This distance is greater than London Plan Housing Supplementary Planning Guidance where a benchmark of 18m minimum is recognized as having been a reliable guide in the past for separation between habitable rooms. There would be some closer views attained from first floor windows of the proposal towards neighbouring rear garden spaces, particularly near the ends of gardens. However, such garden spaces tend to already have some degree of mutual overlooking from existing rear facing windows of the houses along Cannon Hill Lane, and therefore the introduction of additional windows is unlikely to unduly impact existing privacy levels to justify refusal. It is further acknowledged that existing trees would provide a degree of screening between the development and neighbouring sites helping to further mitigate visual impacts.
- 7.37 No objections are raised concerning the proposal and the approved nursery to the east of the site. There would appear to be sufficient distances between the proposal and the neighbouring development to not create overlooking issues, or other amenity harm including noise and disturbance, either to nursery users or to future occupants of the houses.
- 7.38 Noise from the development is acceptable given that the proposal would create modest sized homes, adjacent to an established residential environment and nursery. The submitted transport assessment shows that trip

generation would be low, and therefore unlikely to result in undue noise disturbance from vehicles using the access lane.

Standard of accommodation: internal and external spaces

- 7.39 London Plan policy D6 states that housing development should be of high quality design and provide adequately-sized rooms, with comfortable and functional layouts which are fit for purpose and meet the needs of Londoners without differentiating between tenures. Merton's Sites and Policies Plan policy DM D2 seeks to ensure good quality residential accommodation with adequate levels of privacy, daylight and sunlight for existing and future residents, the provision of adequate amenity space and the avoidance of noise, vibration or other forms of pollution.
- 7.40 The proposal would create two x two storey houses. The larger house would be 4 x bedroom, suitable for 6 person occupancy with a GIA of approx. 158sqm. The smaller house would be 2 x bedroom suitable for 3 person occupancy with a GIA of approx. 70sqm. Both houses would meet London Plan/National Space Standards that require a minimum GIA of 106sqm (larger house) and 70sqm (smaller house).
- 7.41 In terms of external amenity size, the Council's SPP policy DM D2, paragraph 6.17, requires new houses to have a minimum garden area of 50sqm. The London Plan standards are significantly lower and do not differentiate between houses and flats. Both houses would comfortably exceed Merton's adopted external amenity standards.
- 7.42 Overall the proposed houses would have adequately sized rooms and convenient and efficient room layouts which are functional and fit for purpose. Good outlook as well as adequate daylight / sunlight would be received into habitable rooms which would provide high quality standards of accommodation.

Transport, parking and cycle storage

- 7.43 Core Strategy policy CS20 requires that development would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, on street parking or traffic management.
- 7.44 The proposal has been consulted with the Council's Transport Planner who did not anticipate that the scheme would have a material impact upon the operation of the nursery or the adjoining highway network due to the low volumes of trips forecast. Parking provision is in-line with London Plan standards with the access driveway between the site and public highway being satisfactory.
- 7.45 Large delivery vehicles would be unsuitable for accessing the site due to the narrowness of the driveway. However, this would not be a reason to withhold planning permission, and the occupiers of the development may need to seek alternative delivery arrangements.

- 7.46 In terms of emergency vehicle access, the access ways 2.6m width, falls short of the minimum requirements for access set out by the London Fire Brigade. The development may therefore require further mitigation to be installed, and a fire management and safety plan agreed with relevant external authorities. Planning officers note that similar issues have arisen in other recently approved backland schemes with Merton. In these cases it was considered reasonable to attach a condition requiring fire safety measures to be prepared and for these to be reviewed in consultation with the London Fire Brigade before occupation. Given a similar condition could be attached were permission to be granted, it would unreasonable for the Council to withhold planning permission on ground of fire safety.
- 7.47 In accordance with London Plan policy 6.9 and table 6.3, 4 cycle storage spaces would be required for the development. The applicant has demonstrated on the site plan that there is adequate space for cycle storage to be provided for both houses. Should planning permission have been granted precise details of the cycle storage units could be secured by planning condition.

Refuse and recycling

- 7.48 Merton Core Strategy Policy CS17 require new developments to show capacity to provide waste and recycling storage facilities. Waste storage facilities should be integrated, well-designed and include recycling facilities. London Plan policy D6, states that housing should be designed with adequate and easily accessible storage space that supports the separate collection of dry recyclables and food waste as well as residual waste. Further guidance concerning refuse and recycling storage is found in London Plan Table 3.2 (vi) whereby recycling and waste disposal, storage and any on site management facilities are expected to be convenient in their operation and location, appropriately integrated, and designed to work effectively for residents, management and collection services.
- 7.49 Building Regulations and Approved Documents refer. Approved Document H, states that storage areas for waste containers and chutes should be sited so that the distance householders are required to carry refuse does not usually exceed 30m.
- 7.50 The applicant's drawings show where dedicated refuse storage space would be positioned for each of the houses, the spaces allocated are adequate in terms of accommodating household waste requirements. The suggested collection method would involve the applicant moving the refuse containers to the public highway for collection then returning the containers to the site once emptied by Council collectors.
- 7.51 The walking distance between the site boundary and the public highway is identified by the applicant to be circa 45m. Whilst the applicant has taken a view that this drag distance is acceptable, the Council's Transport Planner has taken a contrary view, holding the position that the drag distance is

excessive and unreasonable. Such a view is supported by London Plan policy that requires recycling and waste disposal and storage to be convenient in their operation and location. 30m separation is accepted as best practice guidance with this distance further reflected in the Building Regulations. Therefore, the applicant has failed to demonstrate that a refuse and recycling strategy for the development is integrated, convenient and useable for future occupiers. An objection under this ground is therefore made.

Sustainability

- 7.52 All new developments comprising the creation of new dwellings should demonstrate how the development will comply with Merton's Core Planning Strategy (2011) Policy CS15 Climate Change (parts a-d). As a minor development proposal, the development is required to achieve a 19% improvement on Part L of the Building Regulations 2013 and water consumption should not exceed 105 litres/person/day.
- 7.53 The applicant sets out that the houses would be a low energy, with fabric performance values between the Part L notional build and PassivHaus standards. The applicant intends to include a number of sustainable technologies in the build including solar panels, electric car charging, smart technologies and water saving fittings.
- 7.54 The applicant's desire for the houses to make a significant improvement in environmental performance compared to Building Regulations is supported, and would complement Merton's Climate Strategy and Action Plan.
- 7.55 Should planning permission have been granted a condition would have been included requiring that further evidence is provided by the applicant, prior to occupation, to demonstrate that the new dwelling has meet Merton's sustainability policies in line with Policy CS 15.

Flooding and drainage

- 7.56 Policies DM F1 and DM F2 of Merton's Sites and Policies Plan and policy CS.16 of the Core Strategy seeks to ensure that development will not have an adverse impact on flooding. All new developments must consider SUDS and demonstrate sustainable approaches to the management of surface water in line with the National SUDS standards.
- 7.57 The western part of the site where the proposed houses would be positioned is designated Flood Zone 1 (low probability). The applicant details the proposed homes would adopt the following Sustainable Urban Drainage measures to mitigate the impact of hard surfaces and roofs:
- Water permeable surfaces to drive and foot ways
 - Water-butts for rainwater collection;
 - Swales and soak-a-ways integrated within the garden
- 7.58 The proposed methods are acceptable and in-line with best practice, had permission been granted conditions would secure the installation of these

features. It is not considered that the proposal would contribute to local flooding.

Trees and biodiversity

- 7.59 Policy DMO2 seeks, amongst other things, to protect land of ecological value. The NPPF has a presumption in favour of sustainable development, seeking positive improvements in the quality of the built, natural and historic environment including moving from a net loss of biodiversity to achieving net gains for nature.
- 7.60 A number of trees within the site are protected by TPOs. The applicant has submitted a tree survey that helps establish which trees are moderate and good quality; suitable for retention and justifying protection. As well as those trees are low or poor quality; either undesirable or unsuitable to retain and protect. Whilst the tree survey provides a starting point, the applicant has not produced other necessary information to fully assess tree impacts. An Arboricultural Impact Assessment including an arboricultural method statement is also necessary for officers to understand what trees would be lost through the development, as well as if other trees close to the proposed buildings would be impacted.
- 7.61 Officer's note that many part of the development including building foundations appear to overlap root protection areas of trees. Furthermore, a tree protection plan has not been provided to show how construction works would be completed whilst safeguarding existing trees nor has there been any consideration to whether the proposed landscaping would adequately mitigate the trees lost.
- 7.62 It is not considered reasonable to impose a condition that secures such investigation and exploratory works given that the Council needs to have this information upfront to fully understand the impacts of development which could later dictate the positioning and design of the scheme. In the absence of such information an objection to the proposal is raised.
- 7.63 In terms of wider ecology, the applicant has submitted a Preliminary Ecological Appraisal indicating the results of an Extended Phase 1 Habitat Survey, carried out in October 2020. The methodology and findings of the survey are appropriate for this site and proposed development. The report concludes that no evidence of protected species was found on site. Council officers have no conflicts with this view, and had permission been recommended, the recommendations and enhancements outlined in Section 4 of the Ecological Appraisal would be secured by condition.

8. CONCLUSION

- 8.1 The principle of building residential units on designated Open Space in this instance is considered acceptable given that the land does not meet Open Space criteria. However, the proposal would provide only two houses on a large site, which planning officers consider runs contrary to broader policy

objectives that seek to optimise housing output, through a design lead approach. The applicant has therefore failed to demonstrate that the proposed development makes effective use of land by optimising housing output. The proposal is therefore contrary to London Plan 2021 policy D3, H1, H2, GG2 and GG4, Merton Core Strategy policy CS8 and CS9 along with the NPPF.

- 8.2 The proposal has other difficulties, which have not been overcome by the applicant. The refuse collection arrangements due to the excessive drag distance between storage and collection points would be inconvenient and impractical, contrary to Merton Core Strategy Policy CS17 and London Plan policy D6.
- 8.3 Finally, the applicant has failed to provide satisfactory information concerning the impacts of the development on trees along with necessary tree protection or mitigation measures, contrary to Sites and Policies Plan DMO2 and London Plan 2021 policy G7.

RECOMMENDATION

Refuse Permission for the following reasons:

1. The proposals, by reason of the number of dwellings proposed and the resultant site coverage, fails to demonstrate that the development would make effective use of the land or would optimise housing output and would therefore be contrary to London Plan 2021 policy D3, H1, H2, GG2 and GG4, Merton Core Strategy policy CS8 and CS9 along with Sections 5 and 11 of the NPPF 2021.
2. The proposed refuse collection arrangements by reason of the drag distance between storage and collection points would be excessive, inconvenient, impractical and would detract from the quality of environment for future occupiers, contrary to Merton Core Strategy Policy CS17 and London Plan policy D6.
3. The applicant has failed to demonstrate that adequate tree protection or mitigation measures would be delivered as part of any development contrary to Sites and Policies Plan DMO2 and London Plan 2021 policy G7.

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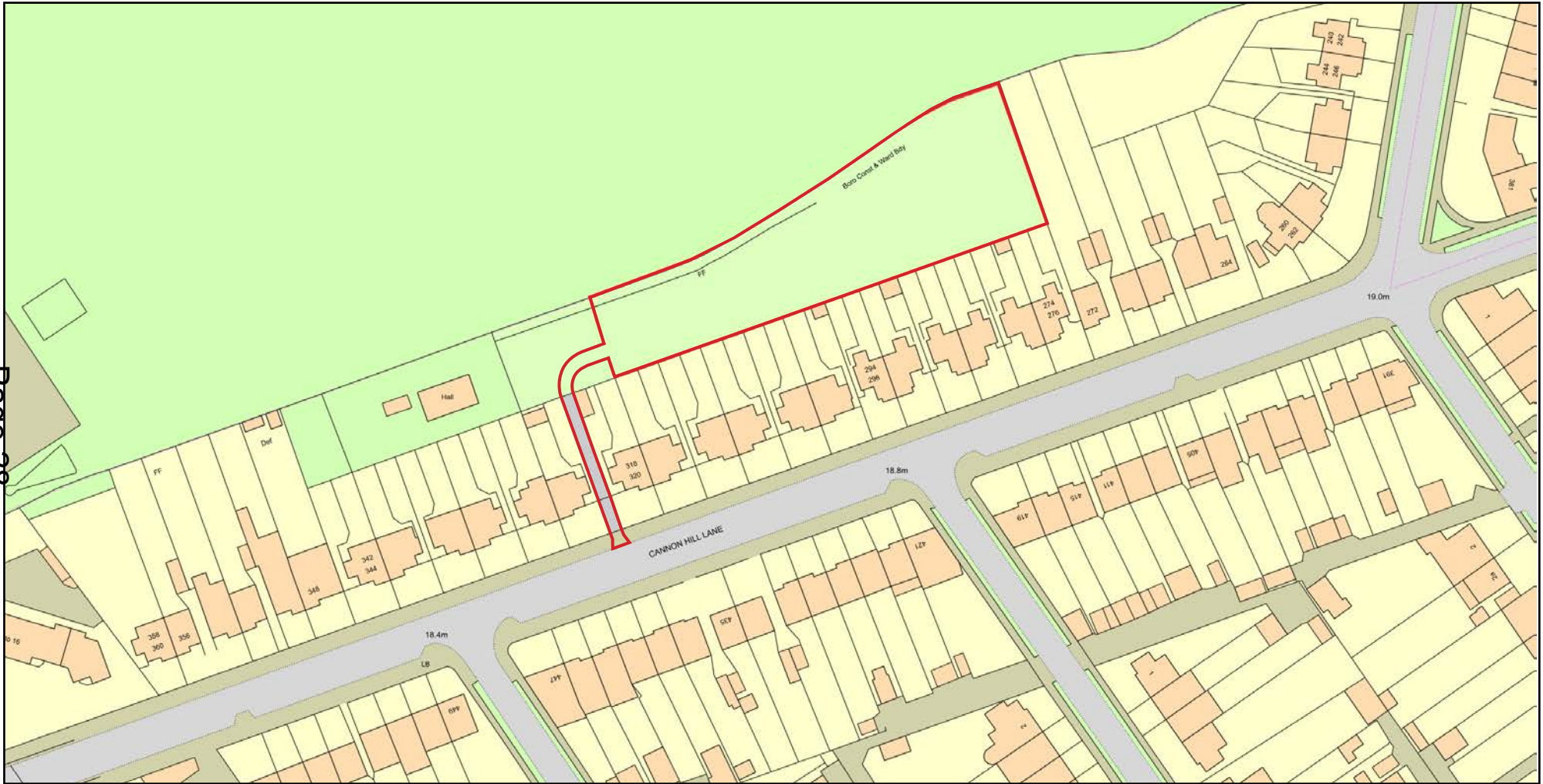
NORTHGATE SE GIS Print Template



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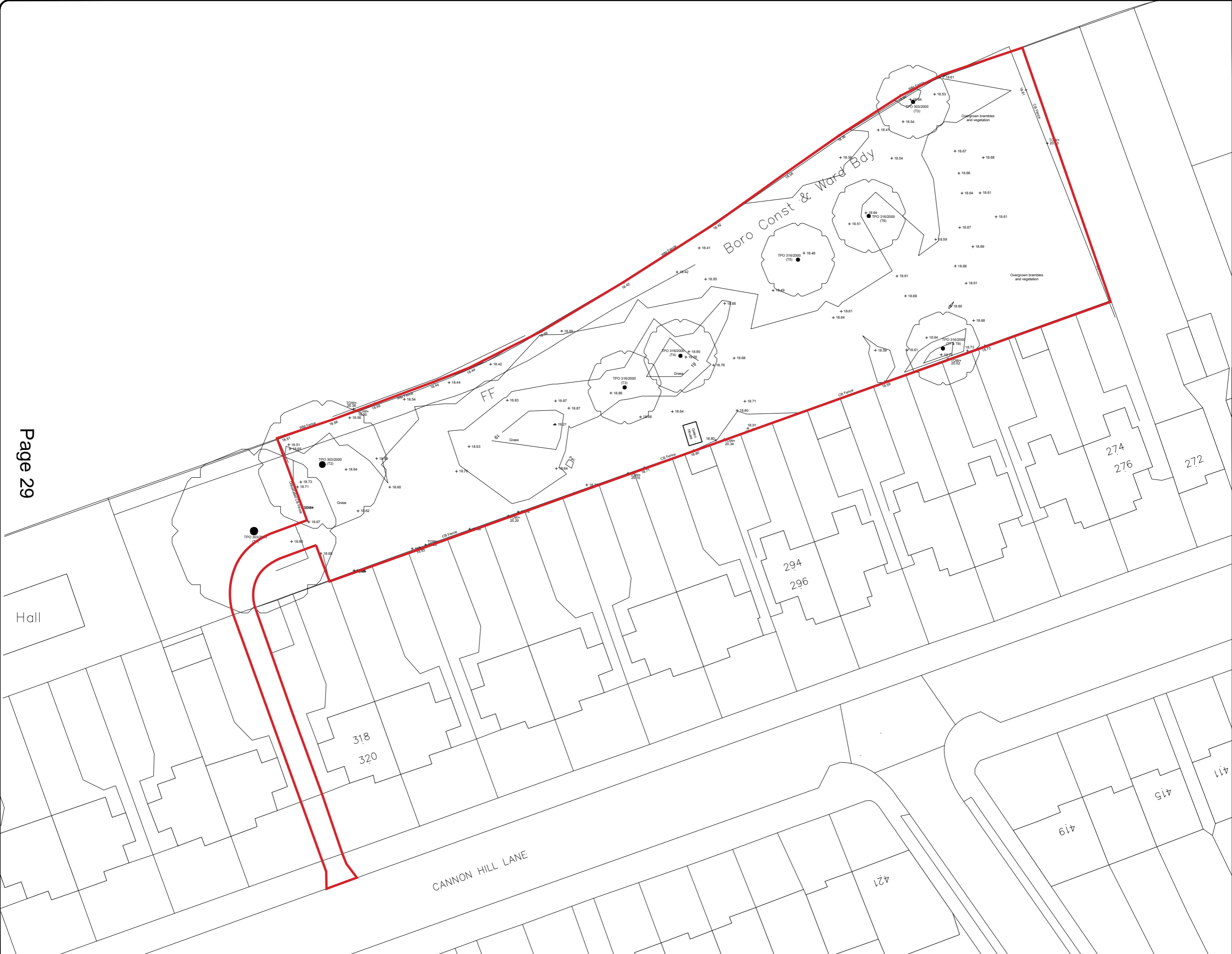
Land to rear of 274-318 Cannon Hill Lane, London

Page 28



Plan Produced for: Rentlrod Ltd.
Date Produced: 24 Dec 2020
Plan Reference Number: TQRQM20359191903409
Scale: 1:1250 @ A4





Hall

Boro Const & Ward Bdy

CANNON HILL LANE

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- AV
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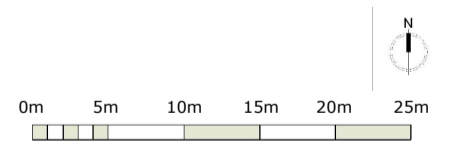
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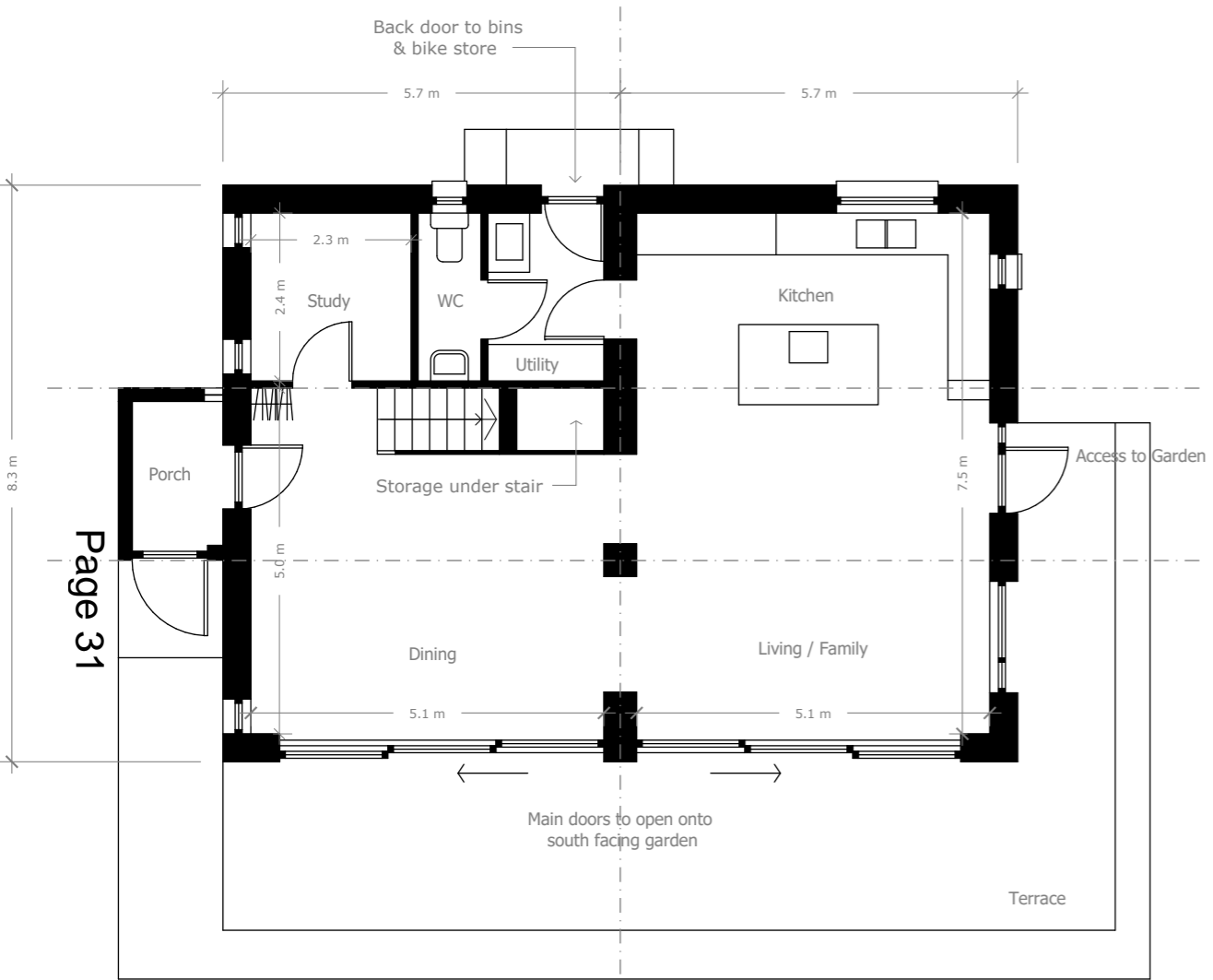


-  Site Boundary
-  Existing Tree Canopy
-  Proposed Tree
-  Root Protection Area
-  TPO Tree Preservation Order

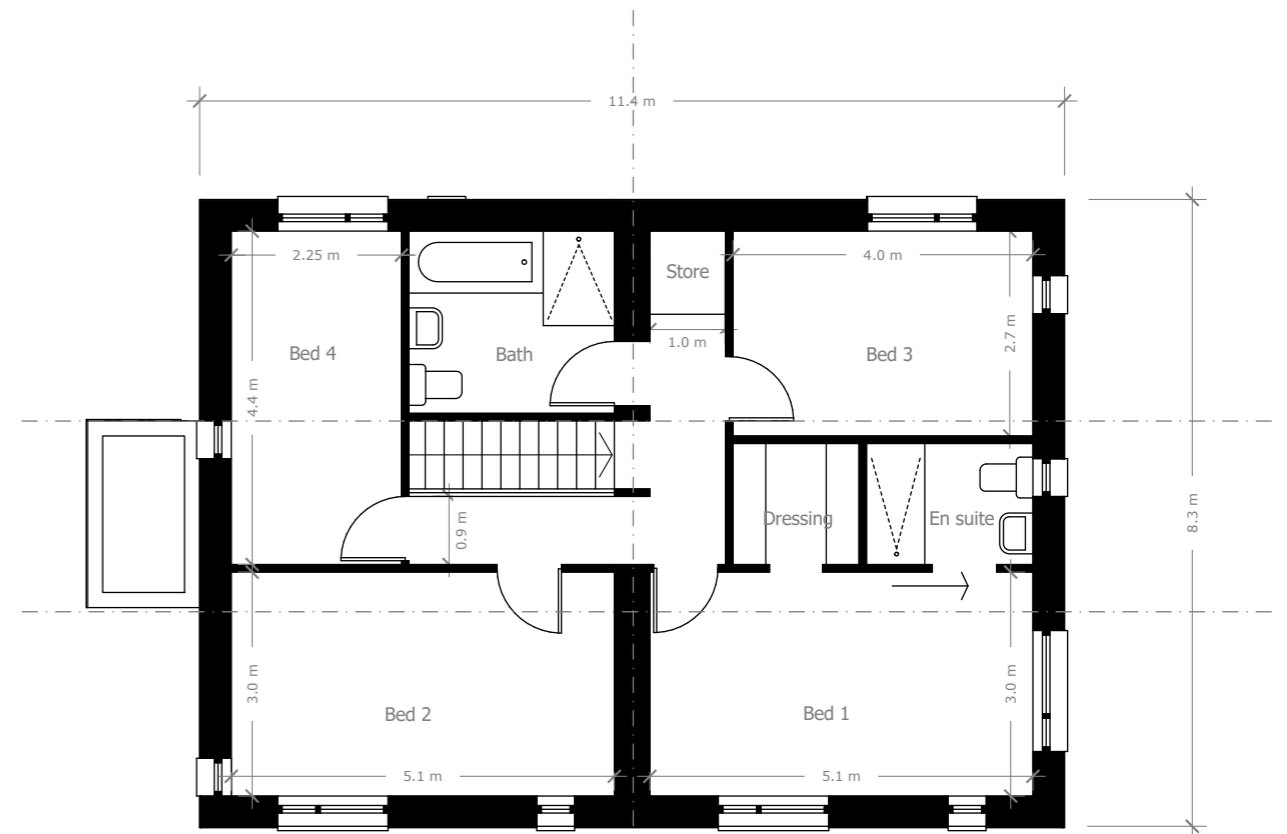


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Ground Floor



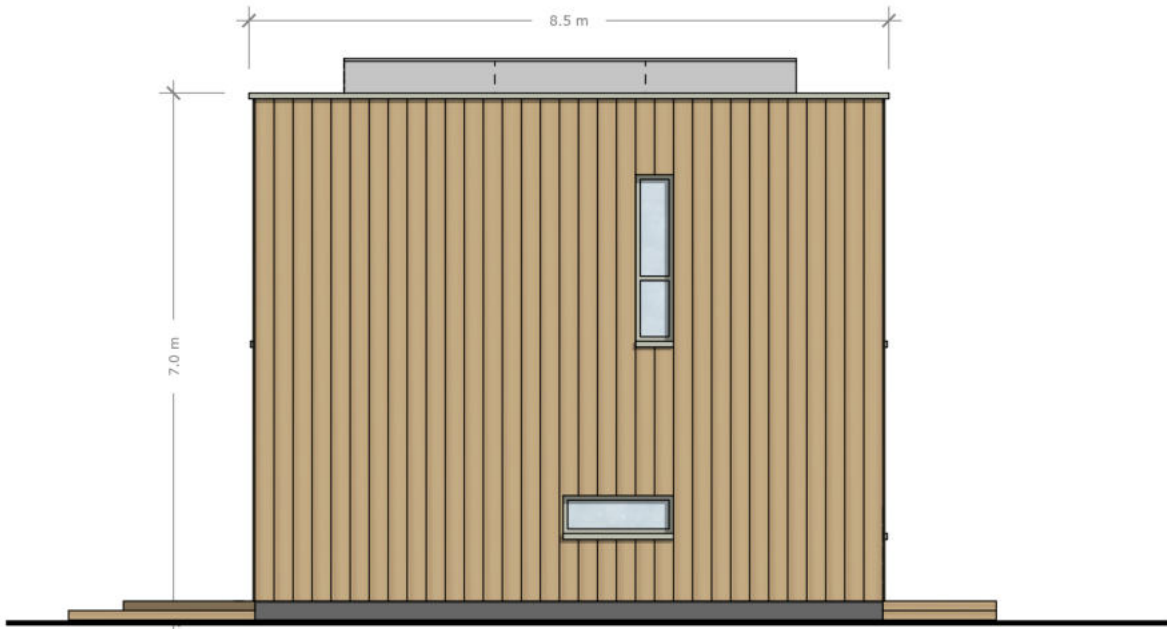
First Floor



Project
Cannon Hill Lane

Drawing Title
4 Bedroom House Floor Plans



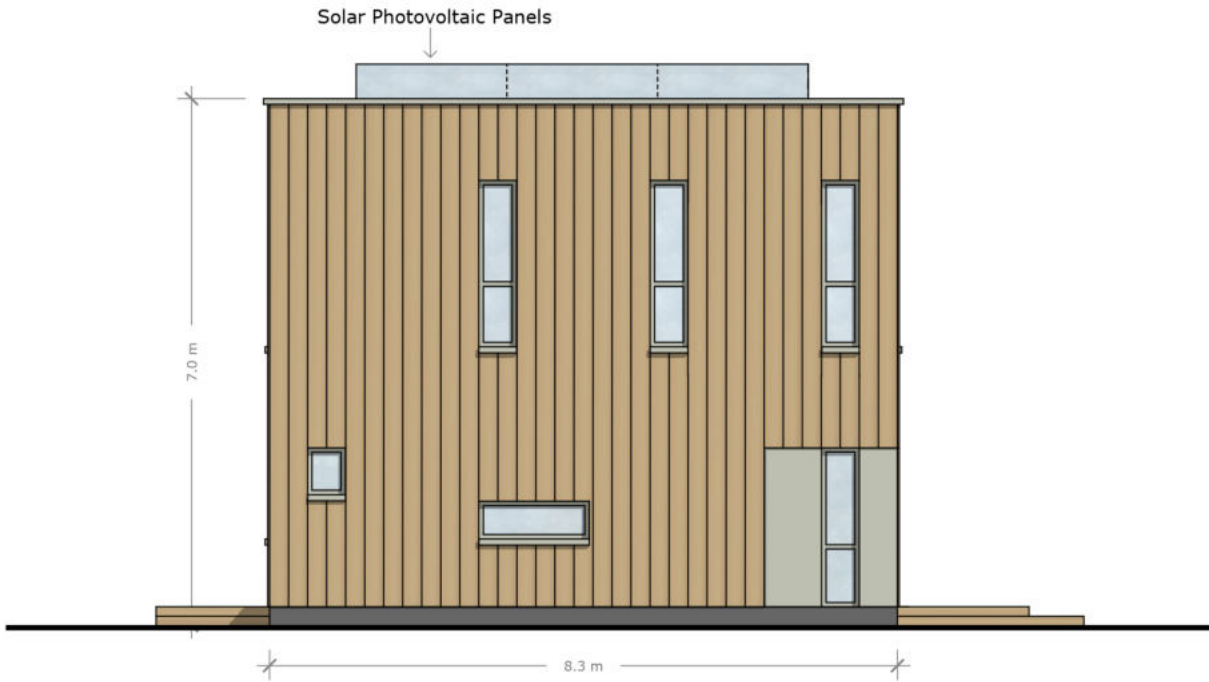


Northern Elevation

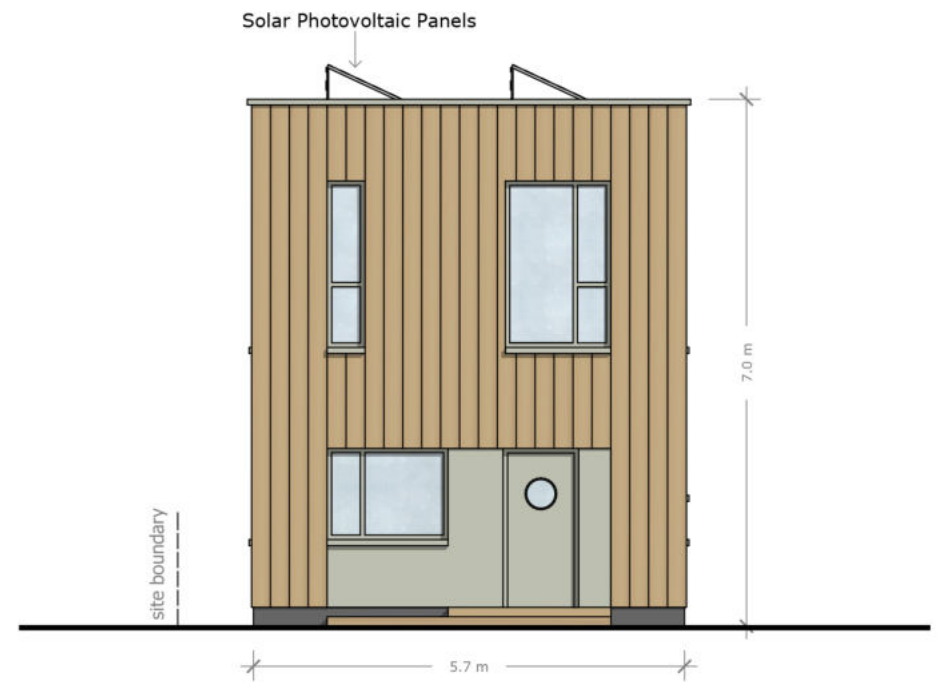


Eastern Elevation

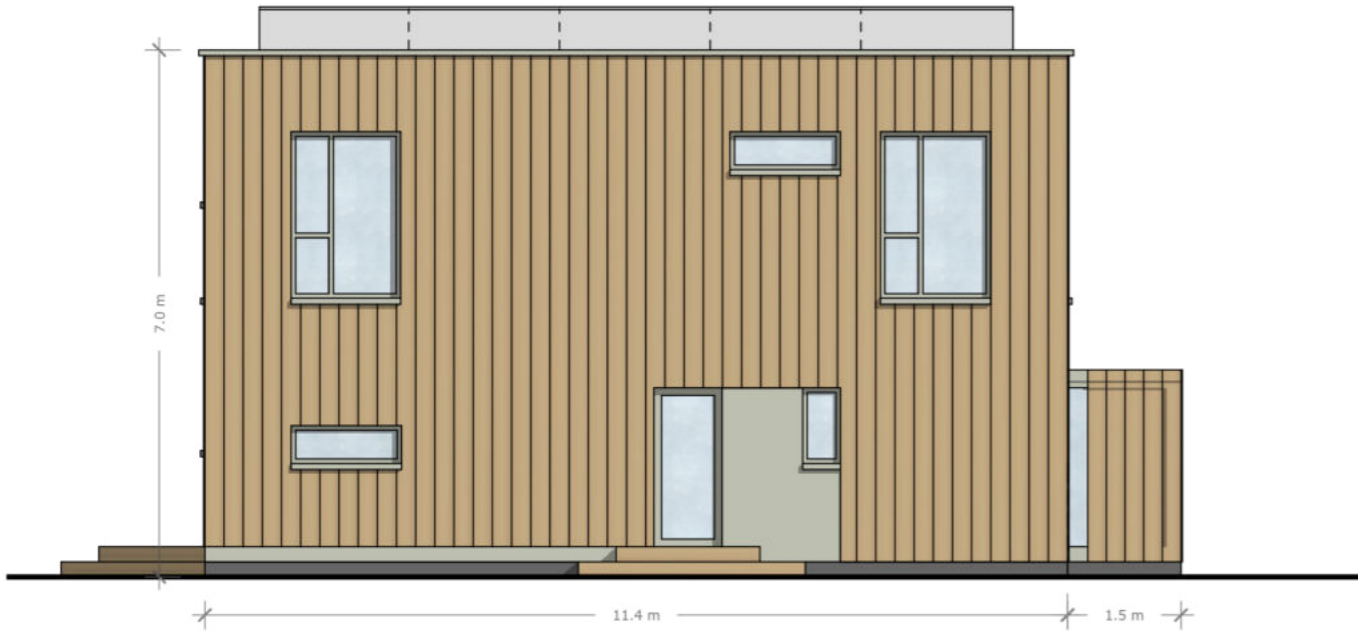
Page 32



Southern Elevation



Western Elevation



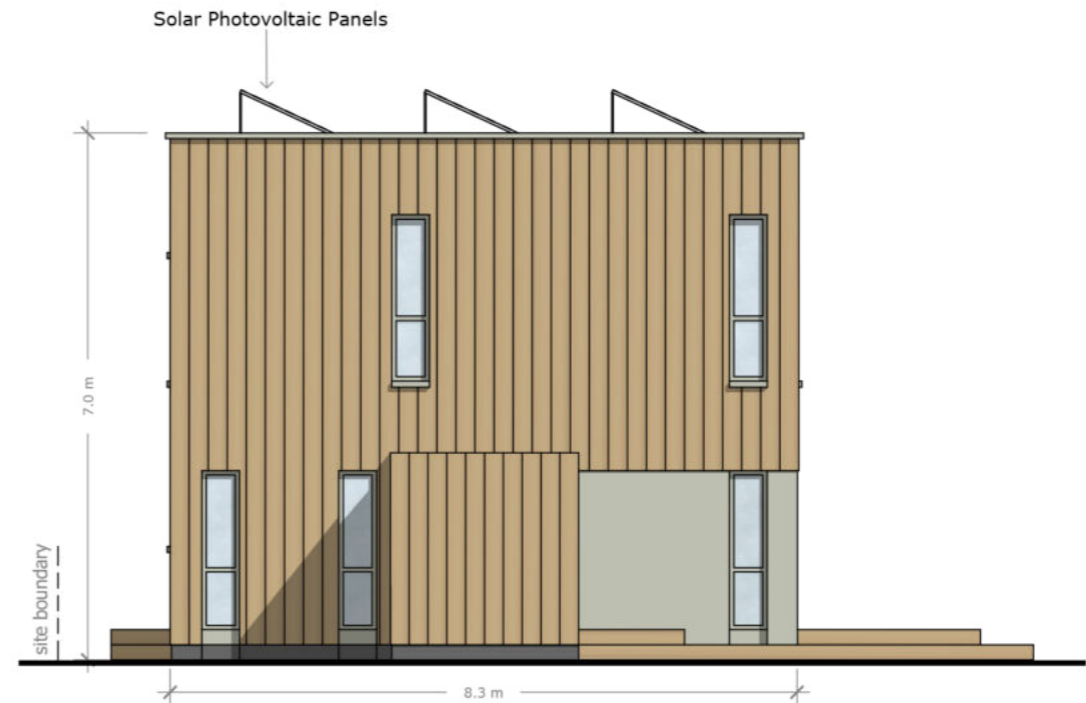
Northern Elevation



Eastern Elevation



Southern Elevation



Western Elevation



Project
Cannon Hill Lane

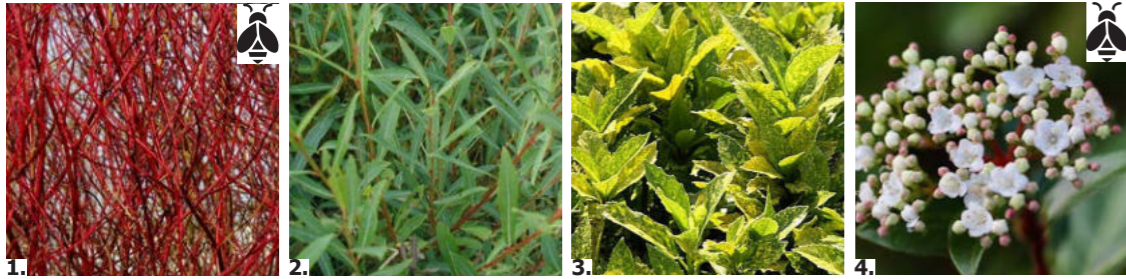
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4 Bedroom House E

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- Suggested planting for southern boundary**
1. *Cornus alba* 'Sibirica' Siberian Dogwood (max. height 2.5m)
 2. *Salix purpurea* Purple Willow (max. height 8.0m)
 3. *Aucuba japonica* 'Goldstrike' Spotted Laurel (max. height 3.0m)
 4. *Viburnum tinus* Common Laurustinus (max. height 4.0m)

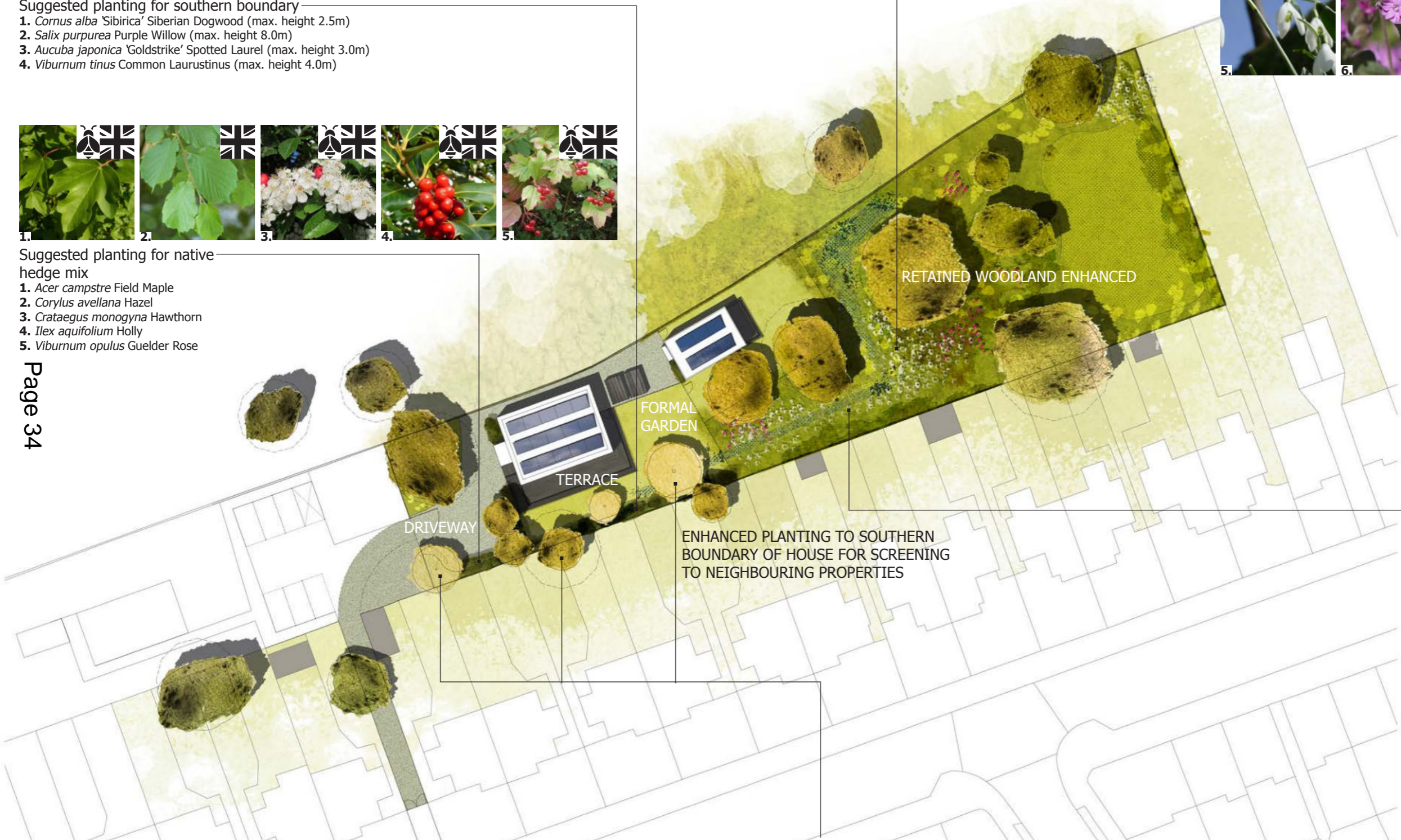


- Suggested planting for native hedge mix**
1. *Acer campstre* Field Maple
 2. *Corylus avellana* Hazel
 3. *Crataegus monogyna* Hawthorn
 4. *Ilex aquifolium* Holly
 5. *Viburnum opulus* Guelder Rose

Page 34

Suggested planting to enhance woodland floor

1. *Alchemilla mollis* Lady's Mantle
2. *Allium ursinum* Wild garlic
3. *Digitalis purpurea* Foxglove
4. *Oxalis acetosella* Wood Sorrel
5. *Galanthus nivalis* Snowdrop
6. *Silene dioica* Red campion
7. *Polygonatum multiflorum* Solomon's Seal
8. *Galium odoratum* Sweet Woodruff



- Suggested planting for sustainable drainage feature**
1. *Caltha palustris* Marsh Marigold
 2. *Trollius europaeus* Globeflower
 3. *Pilularia globulifera* Pillwort
 4. *Veronica beccabunga* Brooklime
 5. *Iris pseudacorus* Yellow Flag Iris
 6. *Myosotis scorpioides* Water Forget-me-not



- Suggested new/replacement tree planting**
1. *Betula pubescens* Downy Birch
 2. *Quercus robur* Common oak
 3. *Quercus petraea* Sessile Oak
 4. *Sorbus aucuparia* Rowan
 5. *Sorbus torminalis* Wild Serviceberry

Denotes UK native species
 Denotes plants which are particularly beneficial to pollinators

Client: Rentlord Ltd
Project: Cannon Hill Lane
Drawing Title: Landscape Plan
Drawing ref: 19001_008
Scale: 1 to 500 at A3
Date: 09 04 2021

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View from garden

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PLANNING APPLICATIONS COMMITTEE

09 DECEMBER 2021

APPLICATION NO.

DATE VALID

21/P2567

05/07/2021

Site Address:

18 Clifton Road, Wimbledon Village, London SW19 4QT

Ward:

Village

Proposal:

ERECTION OF A SINGLE STOREY REAR EXTENSION, PORCH EXTENSION, RECONSTRUCTION OF EXISTING GARAGES, FRONT BOUNDARY WALL AND CHANGES TO THE EXTERNAL FENESTRATION. RAISED GARDEN TERRACE.

Drawing Nos.

P_01 (Rev A); P_02P; P_03 (Rev A); P_04; P_05; P_06; P_07; P_08; CON_08; CR024 (R1); CR020

Contact Officer:

Calum McCulloch

RECOMMENDATION

GRANT Planning permission subject to conditions

CHECKLIST INFORMATION

Is a screening opinion required	No
Is an Environmental Statement required	No
Press notice	Yes
Site notice	Yes
Design Review Panel consulted	No
Number of neighbours consulted	23
External consultations	0
Internal consultations	0
Controlled Parking Zone	Yes - VO's

1. INTRODUCTION

- 1.1 This planning application has been brought before the planning committee due to the nature and number of objections received.

2. SITE AND SURROUNDINGS

- 2.1 The application site comprises a four storey detached building dating from 1880. The site benefits from a large front garden with a number of single storey outbuildings.
- 2.2 The site is located within the Wimbledon West Conservation Area.
- 2.3 The dwelling is not Nationally or Locally Listed.
- 2.4 Planning permission was previously granted for refurbishment works to original house, including conversion of 4 flats back to single family home and demolition of existing garage block (reference 21/P2567).

3. CURRENT PROPOSAL

- 3.1 The application seeks planning permission for:
- The erection of a single storey rear extension.
 - New porch extension.
 - Construction of new garden outbuilding on the site of existing garages.
 - Changes to the external fenestration, including new dormer windows
 - New raised garden terrace

4. PLANNING HISTORY

- 4.1 21/T2510 - Group of trees located towards bottom end of rear garden: Common Oak; Leyland Cypress; Holm Oak; Holly; Common Ash; Common Oak; Common Yew; and a self-set group of Holly, Elder, Hawthorn -all to be removed to open up and allow access to rear section of garden - Tree Works Approved - 09/08/2021
- 4.2 21/P2449 - APPLICATION FOR DISCHARGE OF CONDITION 3, 5, 7 & 8 ATTACHED TO LBM PLANNING PERMISSION 20/P2899 RELATING TO THE REFURBISHMENT WORKS TO ORIGINAL HOUSE, INCLUDING CONVERSION OF 4 FLATS BACK TO SINGLE FAMILY HOME AND DEMOLITION OF EXISTING GARAGE BLOCK - Discharge of Conditions Approved in full - 26/08/2021
- 4.3 20/P2899 - REFURBISHMENT WORKS TO ORIGINAL HOUSE, INCLUDING CONVERSION OF 4 FLATS BACK TO SINGLE FAMILY HOME AND DEMOLITION OF EXISTING GARAGE BLOCK - Grant Permission subject to Conditions - 09/04/2021
- 4.4 14/P0394 - DEMOLITION OF EXISTING GARAGES AND ERECTION OF A ONE AND A HALF STOREY BUILDING WITH A BASEMENT AND ACCOMMODATION WITHIN THE ROOFSPACE WITH DORMERS, VENTS AND SKYLIGHTS TO PROVIDE STORAGE & LEISURE FACILITIES AND

GUEST ACCOMMODATION ANCILLARY TO 18 CLIFTON ROAD - Withdrawn Decision - 28/03/2014

- 4.5 13/P2810 - APPLICATION FOR A CERTIFICATE OF LAWFULNESS IN RESPECT OF THE CONTINUED RETENTION OF EXISTING PORTAKABINS IN CONNECTION WITH BUILDING WORKS - Issue Certificate of Lawfulness - 05/12/2013
- 4.6 11/P0968 - APPLICATION FOR A CERTIFICATE OF LAWFULNESS IN RESPECT OF TEMPORARY INSTALLATION OF PORTAKABINS IN CONNECTION WITH PROPOSED BUILDING WORKS - Issue Certificate of Lawfulness - 30/06/2011
- 4.7 10/P2646 - APPLICATION FOR A CERTIFICATE OF LAWFULNESS IN RESPECT OF TEMPORARY INSTALLATION OF PORTA CABINS IN CONNECTION WITH PROPOSED BUILDING WORK - Refuse Certificate of Lawfulness - 11/11/2010
- 4.8 Various Tree Works

5. CONSULTATION

- 5.1 A standard 21-day consultation procedure was carried out with neighbours consulted by letter and a Conservation Area Site notice displayed.
- 5.2 An initial 5 objections were received from neighbouring properties.
- An objection (dated 8th August) was received from the occupants of no. 8 Southside Common on the following grounds:
 - Concerns regarding conflict of interest
 - Concerns that Clifton Road is subject to covenants that limit alterations that can be undertaken within 20 feet of Clifton Road
 - Objects to the removal of mature trees in the rear garden, in particular G30, T32 and T33
 - Concerns rebuilding of the garages is subterfuge for the building of two cottages that was previously withdrawn.
 - Any proposal should limit the height of the porch to 10 feet to comply with covenants.
 - Concerns the dormer windows would result in a lack of privacy and overlooking.
 - Object to side dormer
 - Concerns regarding the scale of the proposed single storey rear extension
 - An objection (dated 9th August) was received from the occupier of no. 20 Clifton Road on the following grounds:
 - Concerns not all the required drawings are provided.
 - Concerns regarding the scale of the proposed single storey extension.
 - Concerns regarding loss of daylight and sunlight to the downstairs window.

- Concerns regarding moving the existing side door of no. 18 to a new position opposite the kitchen window of no. 20 with potential to result in harmful overlooking.
- An objection was received from the occupants of no. 24 Clifton Road on the following grounds:
 - Concerns reference to re-construction of garages is inaccurate.
 - Concerns there would be insufficient room for vehicles to access garages.
 - Concerns regarding the height of the building.
 - Concerns regarding the loss of parking and highway safety.
 - The garages should be maintained as functioning garages or parking spaces.
 - Concerns the garages have asbestos.
 - Concerns regarding loss scale of single storey rear extension and overlooking from new raised terrace.
 - Concerns regarding the loss of trees
- An objection (dated 17th August) was received from the occupier of no. 19 Lauriston Road noting the following points:
 - Concerns regarding loss of light in respect of no. 20 Clifton Road from the new building.
- An objection was received from the occupier of no. 21 Lauriston Road (dated 17th August) noting the following points:
 - Concerns regarding scale of no 21 Lauriston Road and the impact on no. 20 Clifton Road.

5.3 It was brought to Officers attention that the following plans were not uploaded to Merton's website during the initial consultation. This included drawing P_06; P_07; P_08 and P_09. This was due to an administrative error by the Council.

5.4 Drawing P_01 (Proposed Site Plan) and P_03 (Proposed Upper Ground Floor Plan) were also amended more accurately to describe the replacement building on the site of the existing garages as garden room. Drawing P_10 was also provided at the request of officers to show the existing and proposed side elevation on the north-western boundary.

5.5 Subsequently a 14-day re-consultation was administered informing neighbours that new plans had been added and inviting comment. One comment was received from the occupant of 17 South View Clifton Road requesting the top floor be provided. The top floor was accordingly uploaded to the Merton Planning explorer by Officers. Otherwise, four objections following the re-consultation were received:

- A second objection (dated October 17th) was received from the occupant of no. 20 Clifton Road noting the following:
 - Concerns the full plans were not originally provided.
 - Concerns that re-consultation was not carried out on the amended plans

- Concerns regarding loss of light
 - Concerns regarding overlooking from new side door to no. 18
 - Concerns regarding use of 'garden room' for entertaining and the impact on amenity of no. 20.
 - Concerns of overlooking from dormers.
 - Concerns regarding the scale of additions proposed and the associated impact on the Conservation Area
- A second objection (dated October 17th) was received from the occupant of no. 19 Lauriston Road noting the following:
 - All previous concerns stand
 - The proposed garden room is similar to a proposal previously withdrawn from a recent planning application and is even further unsuitable for a Conservation Area
- A second objection (dated October 17th) was received from the occupants of no. 8 Southside Common noting the following:
 - Concerns the rear extension will harm the amount of daylight for neighbours and result in harmful overlooking.
 - Concerns the garden room is an independent dwelling and the naming is misleading
- A second objection (dated October 16th) was received from the occupants of 24 Clifton Road noting the following:
 - All previous concerns still stand.
 - The plans are materially incorrect and misleading. They show the existing garages rising half a metre about our boundary fence, when in fact they are only 10cm above the fence at most (level with the eaves of the shed of no. 24). The newly disclosed plan has raised the wall from level with our (already high) fence to well over a metre above it. This proposed new wall would run for over 30 feet along our boundary and cause unacceptable loss of amenity by shading and overshadowing.
 - Concerns the loss of parking spaces would cause an unacceptable increase of congestion and danger to children and residents.

6. POLICY CONTEXT

National Planning Policy Framework 2019

- Chapter 4 Decision-making
- Chapter 11 Making effective use of land
- Chapter 12 Achieving well-designed places
- Chapter 15 Conserving and enhancing the natural environment
- Chapter 16 Conserving and enhancing the historic environment

London Plan 2021

- D1 London's form, character and capacity for growth

- D4 Delivering good design
- HC1 Heritage conservation and growth
- G7 Trees and woodlands
- T3 Transport capacity, connectivity and safeguarding
- T4 Assessing and mitigating transport impacts
- T6 Car parking
- T6.1 Residential parking

Merton Core Strategy 2011

- Policy CS 8 Housing Choice
- Policy CS 9 Housing provision
- Policy CS 13 Open space, nature conservation, leisure and culture
- Policy CS 14 Design
- Policy CS 15 Climate Change
- Policy CS 20 Parking, Servicing and Delivery

Merton Sites and Policies Plan 2014

- DM O2 Nature Conservation, Trees, hedges and landscape features
- DM D1 Urban design and the public realm
- DM D2 Design considerations in all developments
- DM D3 Alterations and extensions to existing buildings
- DM D4 Managing heritage assets
- DM T2 Transport impacts of development
- DM T3 Car parking and servicing standards

7. PLANNING CONSIDERATIONS

7.1 The planning considerations for the proposed development relate to the following:

- Design, Character and appearance of the Wimbledon West Conservation Area
- Neighbour Amenity
- Trees
- Transport and parking

Design, Character and appearance of the Wimbledon West Conservation Area

7.2 London Plan policies D1, D4 and HC1, Core Strategy policy CS14 and SPP Policies DMD2, DMD3 and DMD4 require proposals to conserve and enhance heritage assets, as well as respect the appearance, scale, bulk, form, proportions, materials and character of the original building and their surroundings, including Conservation Areas.

Single storey rear extension and raised terrace

7.3 The proposed single storey extension would be L-shaped with a depth ranging from 5.57m to 7.14m. The extension would feature a flat roof with a parapet wall height of 4.95m. The extension would have a traditional appearance

finished in part matching brickwork, part render with timber sash windows. The design would be sympathetic to the traditional character of the original dwelling. Furthermore, the scale of the extension would be subservient to the main dwelling and would not harm the character of the dwelling or surrounding Conservation Area, taking into consideration the residual garden space and the proportions of the existing dwelling. The adjoining raised terrace would also be in proportion with the host dwelling and garden area.

Loft conversion

- 7.4 Three modest dormers are proposed on the rear elevation and a larger dormer proposed on the north-west side elevation. The size of the rear dormers would not unduly dominate the roof profile and their appearance would appear in keeping with main house. The side dormer, although a larger addition, is acceptable given it would be set back from the front elevation by 3.43m and would not be significantly visible from the street scene

Porch extension

- 7.5 The scale, form of the appearance of the porch is considered acceptable. It would be appropriately finished in brick with detailing to respond to the house.

Changes to the windows and doors

- 7.6 The proposed changes to the doors windows would be sympathetic to the appearance of the house and are considered acceptable by Officers. This includes the construction of a secondary bay window at ground floor level on the side elevation, the new first floor window inserted into the south-east side elevation and the ground floor level side access.

Proposed outbuilding replacing garages

- 7.7 The proposed outbuilding would have a similar footprint as the existing garages however, it would be taller. Its total depth would be 9.87m with a height of 3.1m. The scale of the outbuilding would be broadly similar to the existing garages to be removed and although taller, is not considered to have a detrimental impact on the visual amenity of the area.

Front boundary

- 7.8 The front boundary comprises powder coated metal railings with brick piers measuring 1.9m high. The boundary treatment would be a significant enhancement on the existing boundary treatment.
- 7.9 Considering the above in the round, the proposed development is considered to have an acceptable design and would preserve the character and appearance the Conservation Area subject to conditions met.

Neighbour Amenity

- 7.10 Sites and Policies Plan Policy DM D2 seeks to ensure that the potential impact of new development has regard for neighbour amenity.

Impact on no. 20 Clifton Road

- 7.11 No. 20 Clifton Road is an extended cottage directly adjacent to the application

site. The property was originally a garage and was converted to form a house in 1949. This property has no rear garden. An objection has been raised in respect of this property with concerns there would be a harmful impact in terms of daylight and sunlight. Officers acknowledge the proposed single storey extension would result in some increased sense of enclosure and loss of light in respect of two windows on the south east side elevation of no. 20. However, the kitchen forms part of an open plan layout with an adjoining dining room which receives light from the west. Furthermore the reduction in light received from the north east would be offset to some extent by an increased light gained from the south west due to the removal of trees at the front of no. 18. The proposed extension would be sited 3.0 m away from the north-west boundary. On balance, therefore, Officers do not consider the impact in relation to the two kitchen windows would be harmful in respect of loss of light or outlook. Concerns from residents have also been raised regarding the potential overlooking from the proposed new side access toward the window at no. 20. Officers do not consider this relationship harmful in planning terms as there is an existing level of inter-visibility between the kitchen window and the side alleyway. The proposed second floor dormer would not result in harmful overlooking towards no. 20 given these windows serve a landing and would be obscure glazed. The proposed new outbuilding rear terrace would be visible from a first floor rear facing bedroom window. This relationship would be similar to the existing situation in respect of the garden and garages of no. 20 and therefore not considered harmful.

Impact on no. 24 Clifton Road

- 7.12 No. 24 Clifton Road is located two doors down from the application site to the north-west. The garden of this property shares a boundary with the application site as it dog-legs round the back of no. 20. The proposed outbuilding measuring 3.14m x 9.84m would be visible from the garden of no. 24. However, given the outbuilding would be single storey and located some distance away from no. 24's principle amenity areas to the north-west, officers do not consider the proposal harmful. Officers consider there would be no harmful overlooking relationship resulting from the rear outdoor paved seating areas due to the presence of the proposed outbuilding and 2m boundary fence.

Impact on no. 12 Clifton Road

- 7.13 Officers do not consider there would be a harmful relationship in respect of no. 12 which is in use as a care home. This is because the front building line of no. 12 roughly accords with the rear building line of no. 18 thereby limiting any material increase in enclosure. The applicant proposes a new first floor window in the south-east side elevation. This window is not considered to cause harmful overlooking towards no.12 as it would replace an existing window.

Impact on no. 8 Southside Common, 19 and 21 Lauriston Road

- 7.14 The proposed development would be visible from no. 8 Southside Common, no. 21 and 19 Lauriston Road. However, there would be no material harm to these properties given significant separating distances to the rear elevations of these properties.

- 7.15 Taking the above into consideration in the round, officers consider there would

be no material harm to neighbour amenity and therefore is compliant with Merton SPP Policy SPP DMD2.

Trees

- 7.16 London Plan Policy G7, Merton Core Strategy Policy CS1 and Sites and Policies Plan Policy DMO2 require development proposals to conserve important trees.
- 7.17 A tree survey and impact assessment was submitted alongside the proposal.
- 7.18 13 individual and 1 group of category 'C' trees will require removal to facilitate the development. These trees are identified as T12, T13, T14, T18, T19, T20, T21, T22, T23, T24, T25, T26 and G30. Officers consider the removal of these trees acceptable given they're category C i.e. of lower quality and amenity value. It should be noted that T20 to T26 have all been previously confirmed under planning reference 20/P2899. The applicant is also proposing to replace T19 and T20 with two semi-mature oak trees which would over time improve the character of the street scene.
- 7.19 3 individual category 'B' trees and 2 individual category 'C' trees, identified as T11, T10, T27, T28, T31 are to be retained. However, the proposed new hard standing will encroach upon the trees RPA by up to a maximum of 31% within any unmade area previously uncovered. This largest impact is on T31, with all remaining impacts less than 15%. T11 would also be impacted by the proposed rear extension which would encroach upon 4.75% of this tree. It is proposed that these areas where trees are impacted by hardstanding are subject to specialised engineering systems such as a no dig construction for the hard standing, utilising a 3D cellular confinement system or similar.
- 7.20 In addition, 1 individual category 'B' tree, and 6 individual and 2 groups of category 'C' trees are planned to be removed to facilitate improvements to the landscape these are T32, T33, T34, T36, T37, T38, T39, G29 and G40. The majority of these trees were approved for removal by the Council's Tree Officer on August 9th 2021 under a Tree Works Application (Ref 21/T2510) and have been removed from the site. This is with the exception of T38, a category B tree which has been removed but was mistakenly missed from tree application 21/T2510 in error by the applicant.
- 7.21 Overall, whilst the proposal comprises the loss of trees, all of these except one are category C trees which have limited amenity value. Furthermore the applicant has sought to mitigate the loss of trees by planting 12 semi-mature trees across the site which are indicated on the proposed Soft Landscaping Plan. This includes four trees at the back of the garden which will over time provide some screening between the site and properties on Lauriston Road. Protection of the existing trees on-site would be ensured through an appropriate arboricultural method statement secured by condition. Accordingly, the proposed proposed development is acceptable in respect of London Plan Policy G7, Merton Core Strategy Policy CS1 and Sites and Policies Plan Policy DMO2 in respect of trees.

Transport and parking

- 7.22 London Plan Policy T4, Adopted Merton Core Planning Strategy (2011) CS20 (Parking, Servicing and Delivery), Sites and Policies Plan (2014) DM T2 (Transport Impacts of Developments), DM T3 (Car Parking and Servicing Standards) require developers to demonstrate that their development would not adversely affect pedestrian and cycle movements, safety, the convenience of local residents or the quality of bus movements and/or facilities; on street parking and traffic management and provision of parking to the council's current standards.
- 7.23 Some concerns have been raised by residents regarding the loss of parking due to the demolition of the garages. Officers consider the proposed parking in arrangement and capacity sufficient for a property of this size, with sufficient parking to the front and side of the dwelling house. The parking arrangement and vehicle crossover was also approved in principle under planning permission 20/P2899, which also reduced the occupancy of the dwelling with the loss of 4 flats and provision of a single dwelling house.

8. CONCLUSION

- 8.1 The proposed development is considered to preserve the character and appearance of the host building and surrounding Conservation Area. The development would not cause material harm to the amenity of neighbouring properties and would be acceptable in respect of transport and parking. The proposal would result in some loss of trees however this is considered acceptable given the majority of those lost would have lower amenity value and there would be extensive mitigating tree planting on-site. Therefore the proposal would comply with the policies above and it is recommended to grant planning permission subject to conditions.

9. RECOMMENDATION

- 9.1 Grant planning permission subject to conditions:

Conditions

1. **A1 Commencement** of development (full application)
2. **A7 Approved Plans:** The development hereby permitted shall be carried out in accordance with the following approved plans:

P_01 (Rev A);
P_02
P_03 (Rev A)
P_04
P_05
P_06
P_07
P_08
CON_08
P_09

Reason: For the avoidance of doubt and in the interests of proper planning.

- B3 External Materials as specified:** The facing materials to be used for the development hereby permitted shall be those specified in the document entitled 'Details of Materials' (dated November 2021) written by Andrew Harper Architects unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: policy D4 and HC1 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014

- D11 Construction Times:** No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.

Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with the following Development Plan policies for Merton: policy D14 of the London Plan 2021 and policy DM EP2 of Merton's Sites and Policies Plan 2014.

- Tree Protection:** No development [including demolition] pursuant to this consent shall commence until an Arboricultural Method Statement and Tree Protection Plan, drafted in accordance with the recommendations and guidance set out in BS 5837:2012 have been submitted to and approved in writing by the Local Planning Authority and the approved details have been installed. The details and measures as approved shall be retained and maintained, until the completion of all site operations.

Reason: To protect and safeguard the existing retained trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and 02 of Merton's Sites and Policies Plan 2014.

- F8 Site supervision:** The details of the Arboricultural Method Statement and Tree Protection Plan shall include the retention of an arboricultural expert to supervise, monitor and report to the LPA not less than monthly the status of all tree works and tree protection measures throughout the course of the construction period. At the conclusion of the construction period the arboricultural expert shall submit to the LPA a satisfactory completion statement to demonstrate compliance with the approved protection measures.

Reason: To protect and safeguard the existing retained trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan

2021, policy CS13 of Merton's Core Planning Strategy 2011 and policy DMO2 of Merton's Sites and Policies Plan 2014.

7. **B4 Details of Surface Treatment:** No development shall take place until details of the surfacing of all those parts of the site not covered by buildings or soft landscaping, including any parking, service areas or roads, footpaths, hard and soft have been submitted in writing for approval by the Local Planning Authority. No works that are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details have been approved and works to which this condition relates have been carried out in accordance with the approved details.

Reason: To ensure a satisfactory standard of development in accordance with the following Development Plan policies for Merton: policies D4 and HC1 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 and D2 of Merton's Sites and Policies Plan 2014.

8. **Landscaping:** All hard and soft landscape works shall be carried out in accordance with the approved details as shown on drawing CR024 (R1) and CR020 unless otherwise agreed by the Local Planning Authority. The works shall be carried out in the first available planting season following the completion of the development or prior to the occupation of any part of the development, whichever is the sooner, and any trees which die within a period of 5 years from the completion of the development, are removed or become seriously damaged or diseased or are dying, shall be replaced in the next planting season with others of same approved specification, unless the Local Planning Authority gives written consent to any variation. All hard surfacing and means of enclosure shall be completed before the development is first occupied.

Reason: To enhance the appearance of the development in the interest of the amenities of the area, to ensure the provision sustainable drainage surfaces and to comply with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policies CS13 and CS16 of Merton's Core Planning Strategy 2011 and policies DM D2, F2 and O2 of Merton's Sites and Policies Plan 2014.

9. Before the development hereby permitted is first occupied, the loft dormer windows in the north-west side elevation shall be glazed with obscured glass and shall be maintained as such thereafter.

Reason: To protect the amenity of neighbouring occupiers in accordance with Merton SPP (2014) Policy DMD2.

10. The proposed garden room/outbuilding adjacent to the boundary of no. 20 Clifton Road shall be used for no other purpose other than that ancillary to the main dwellinghouse.

Reason: To protect the amenity of neighbouring occupiers in accordance with Merton SPP (2014) Policy DMD2.

11. Access to the flat roof of the single storey rear extension hereby permitted shall be for maintenance or emergency purposes only, and the flat roof shall not be used as a roof garden, terrace, patio or similar amenity area.

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policies D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

12. **Informative:** The implementation of a vehicle crossover will be subject to a separate Vehicle Crossover Application with the Council. Applications for crossovers sited within controlled parking zones will be required to meet the criteria outlined the [Vehicle Crossover Information Pack](#) . If it is necessary to remove an existing on street parking space an amendment to the Traffic Order will be required. All fees must be paid by the applicant to cover the council's costs in advertising and consulting on the proposal and will also significantly delay the process of approving a crossover application. The council may refuse an application where it is considered that the removal of too many onstreet spaces or provision of too many crossovers would lead to insufficient on street space being available. The approval of a crossover would be subject to the outcome of a statutory consultation and therefore cannot be guaranteed. Should street furniture need to be re-located, this shall be at the expense of the applicant.

13. **Informative:** No surface water runoff should discharge onto the public highway including the public footway or highway. When it is proposed to connect to a public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777).

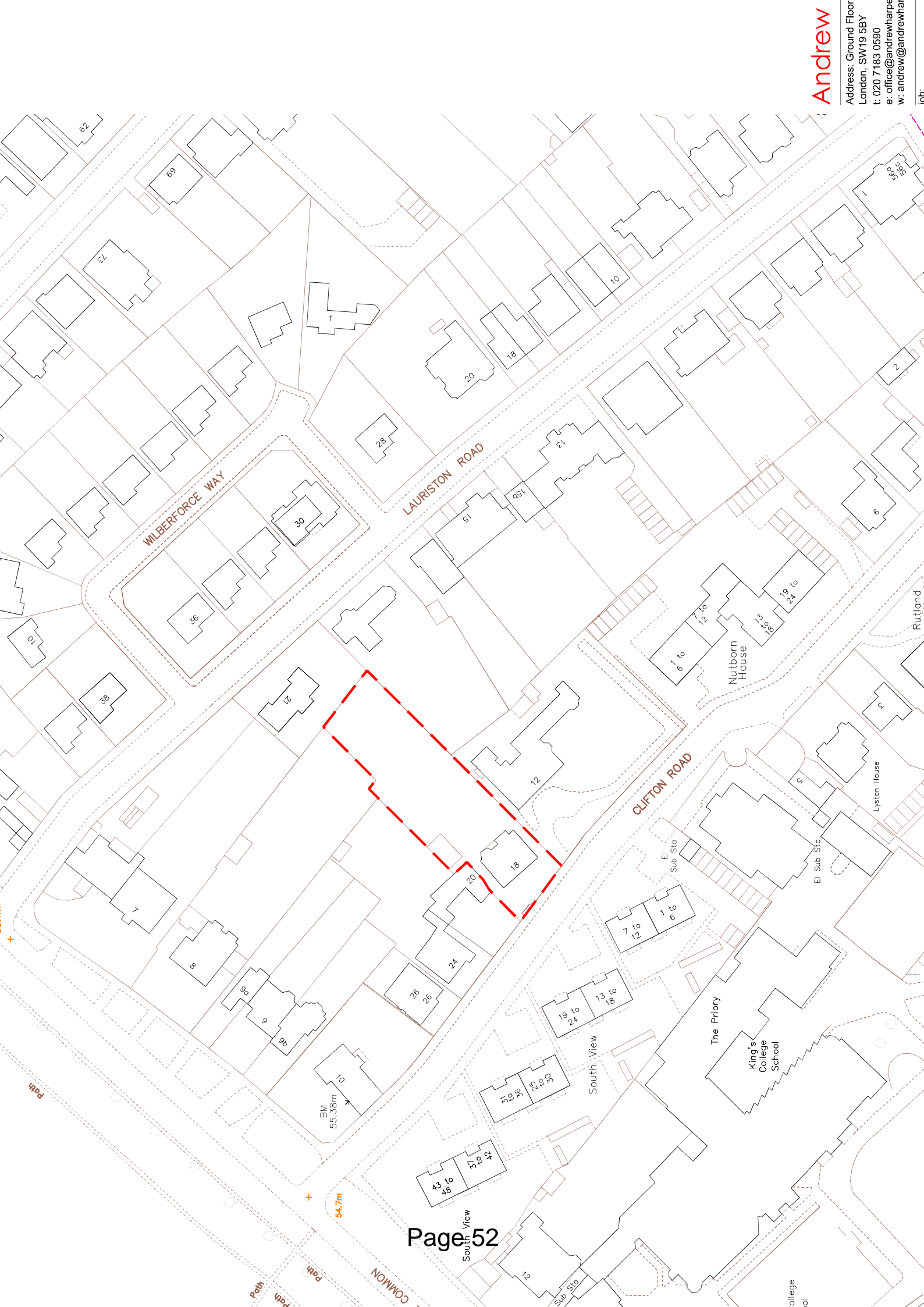
14. **Informative:** No waste material, including concrete, mortar, grout, plaster, fats, oils and chemicals shall be washed down on the highway or disposed of into the highway drainage system.

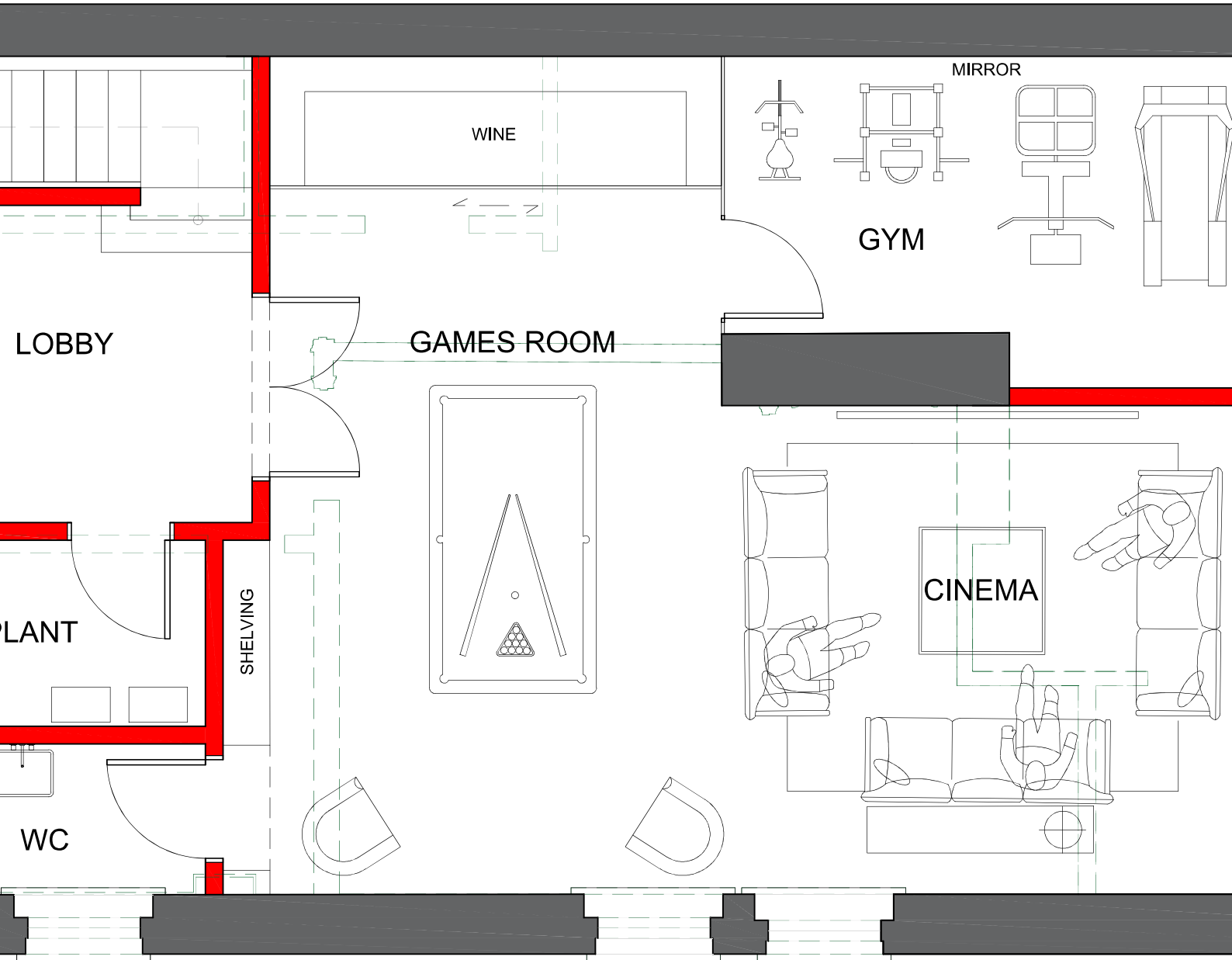
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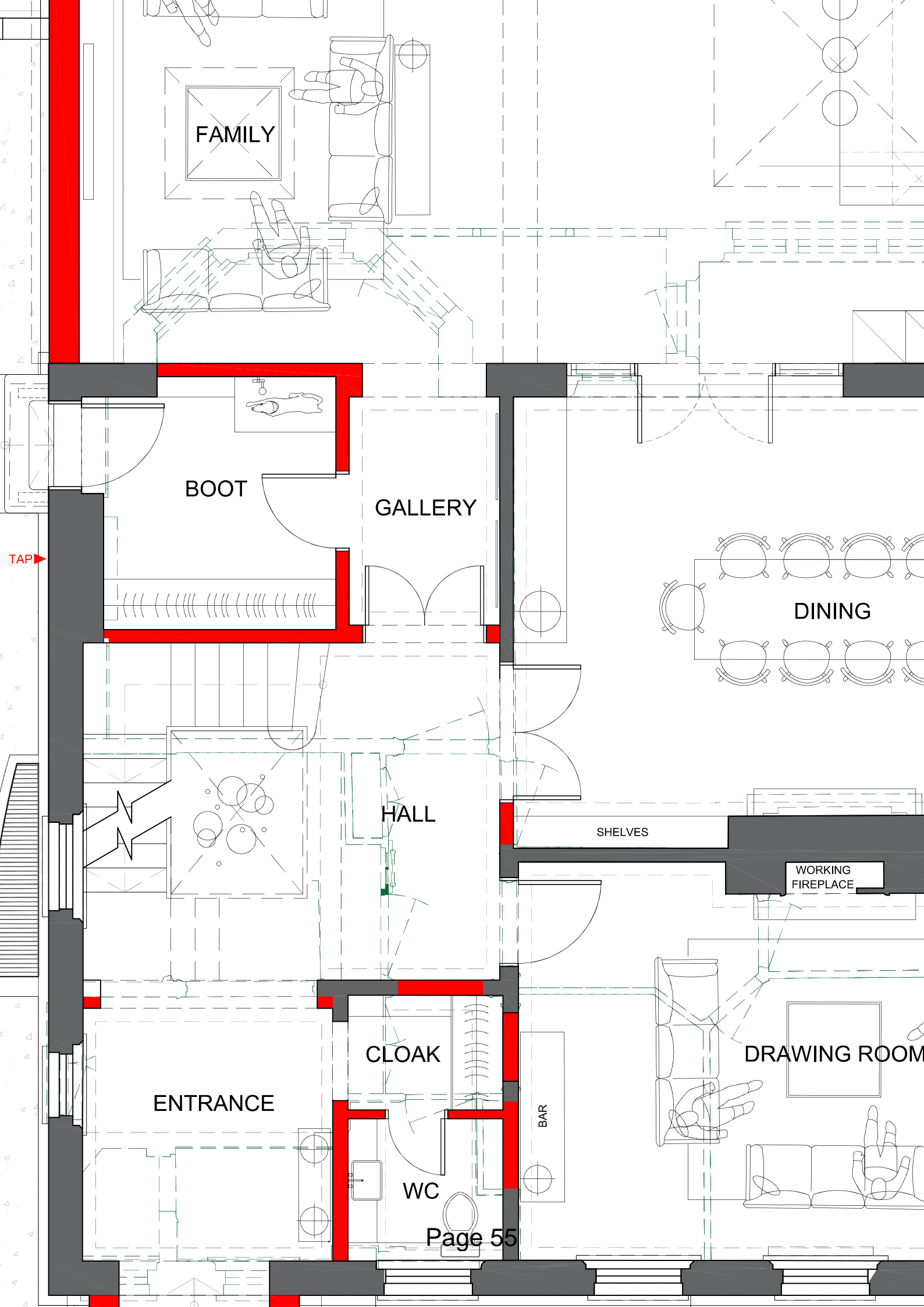
NORTHGATE SE GIS Print Template



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FAMILY

BOOT

GALLERY

DINING

HALL

SHELVES

WORKING
FIREPLACE

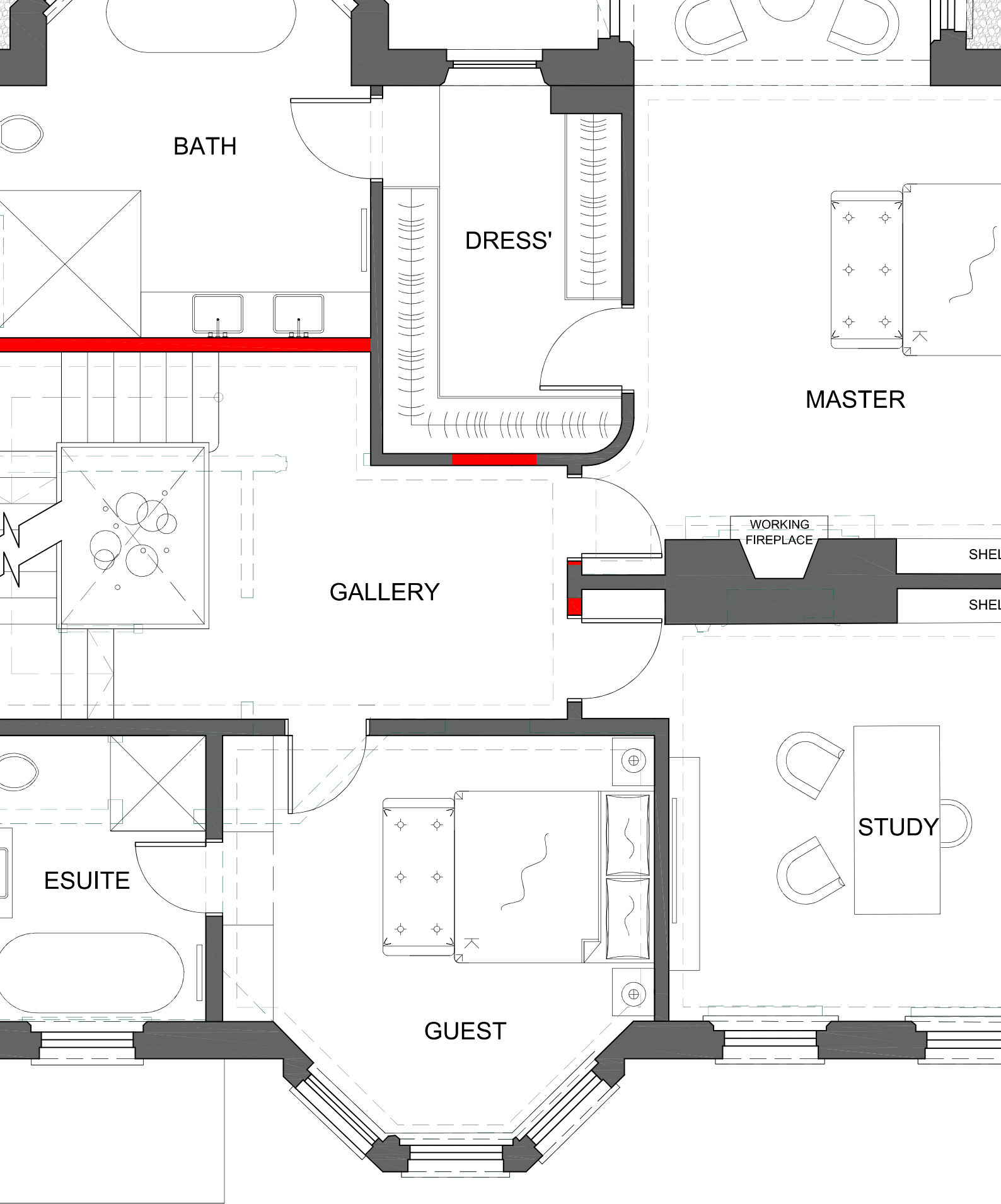
CLOAK

ENTRANCE

BAR

DRAWING ROOM

WC



BATH

DRESS'

MASTER

GALLERY

WORKING
FIREPLACE

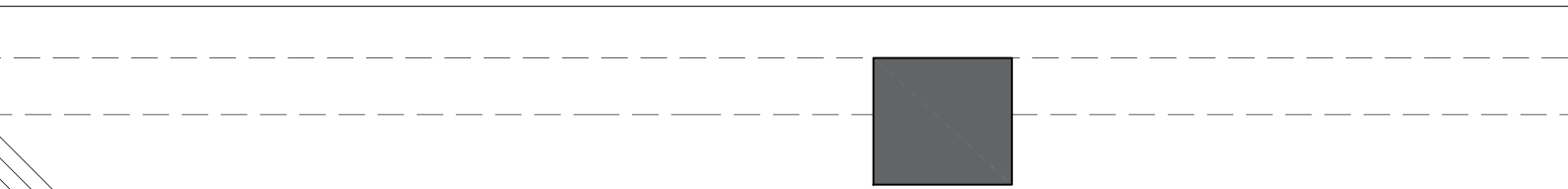
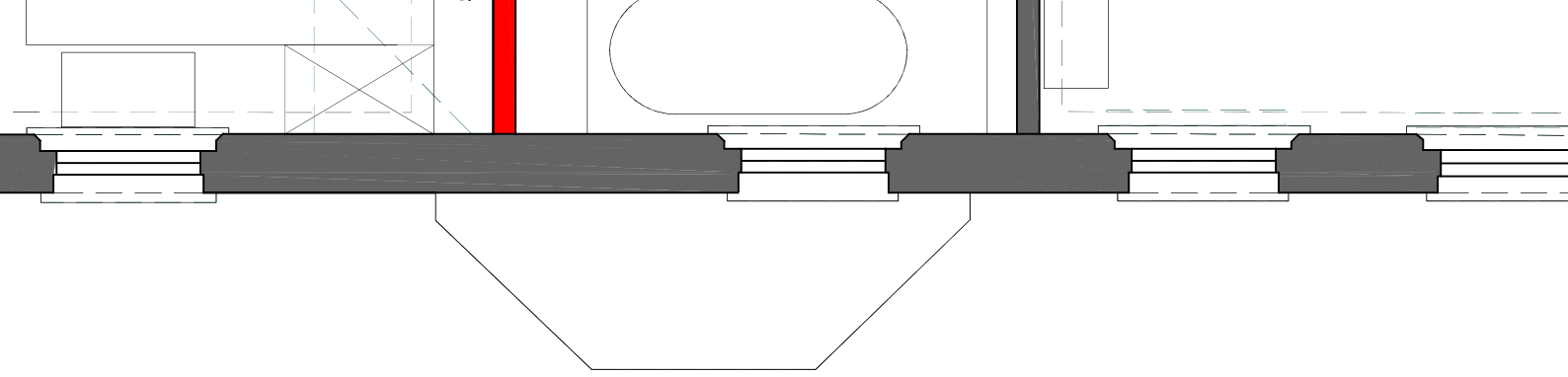
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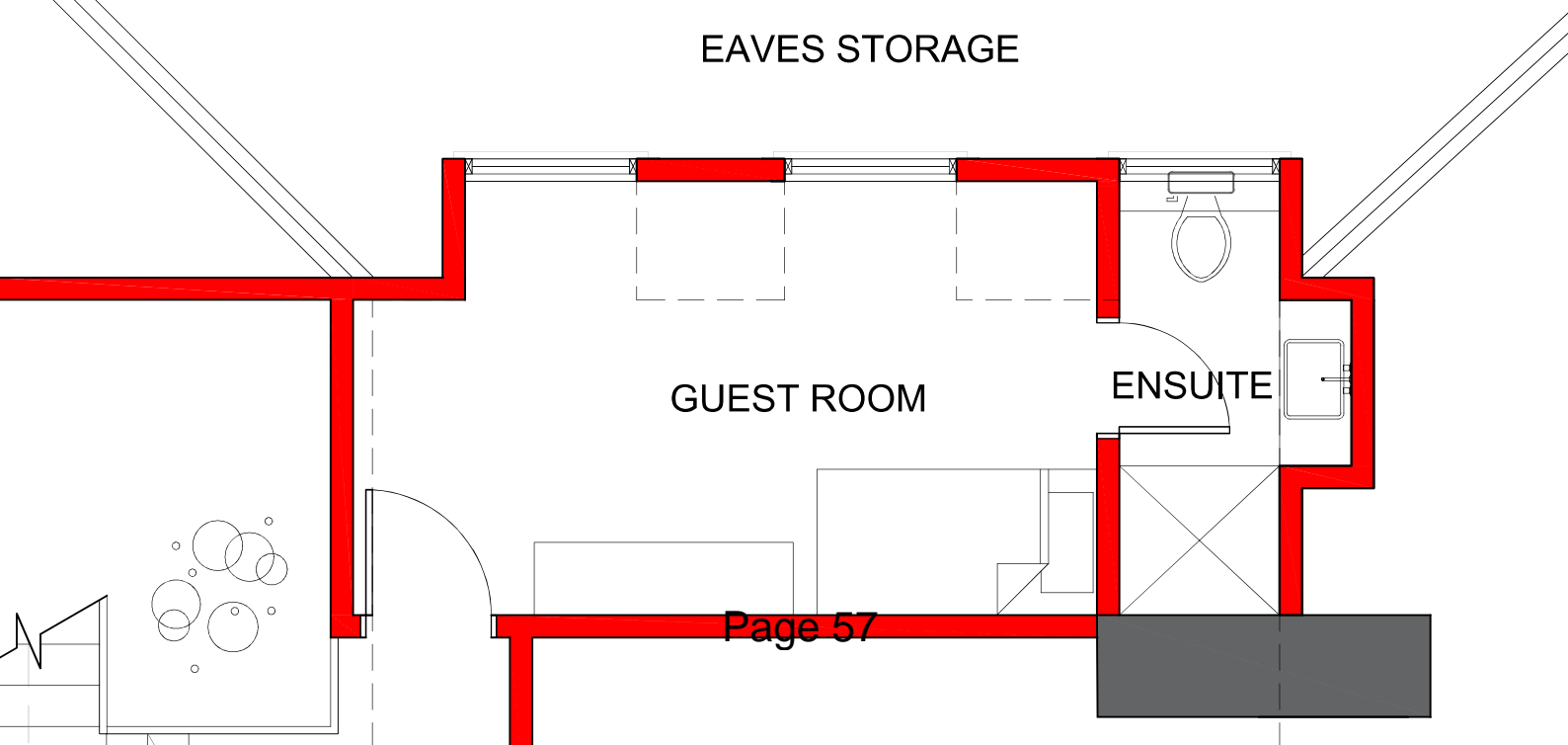
ESUITE

STUDY

GUEST

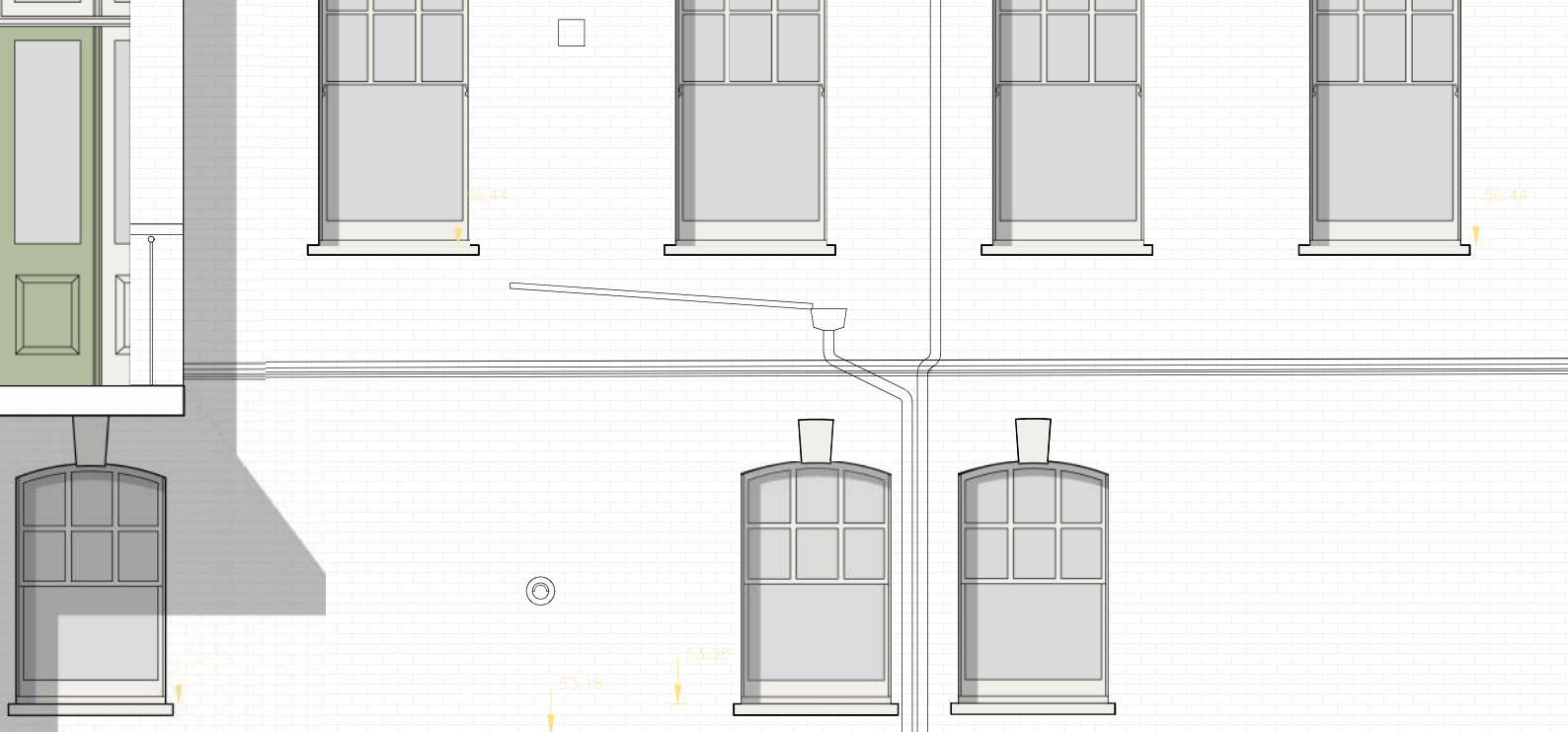


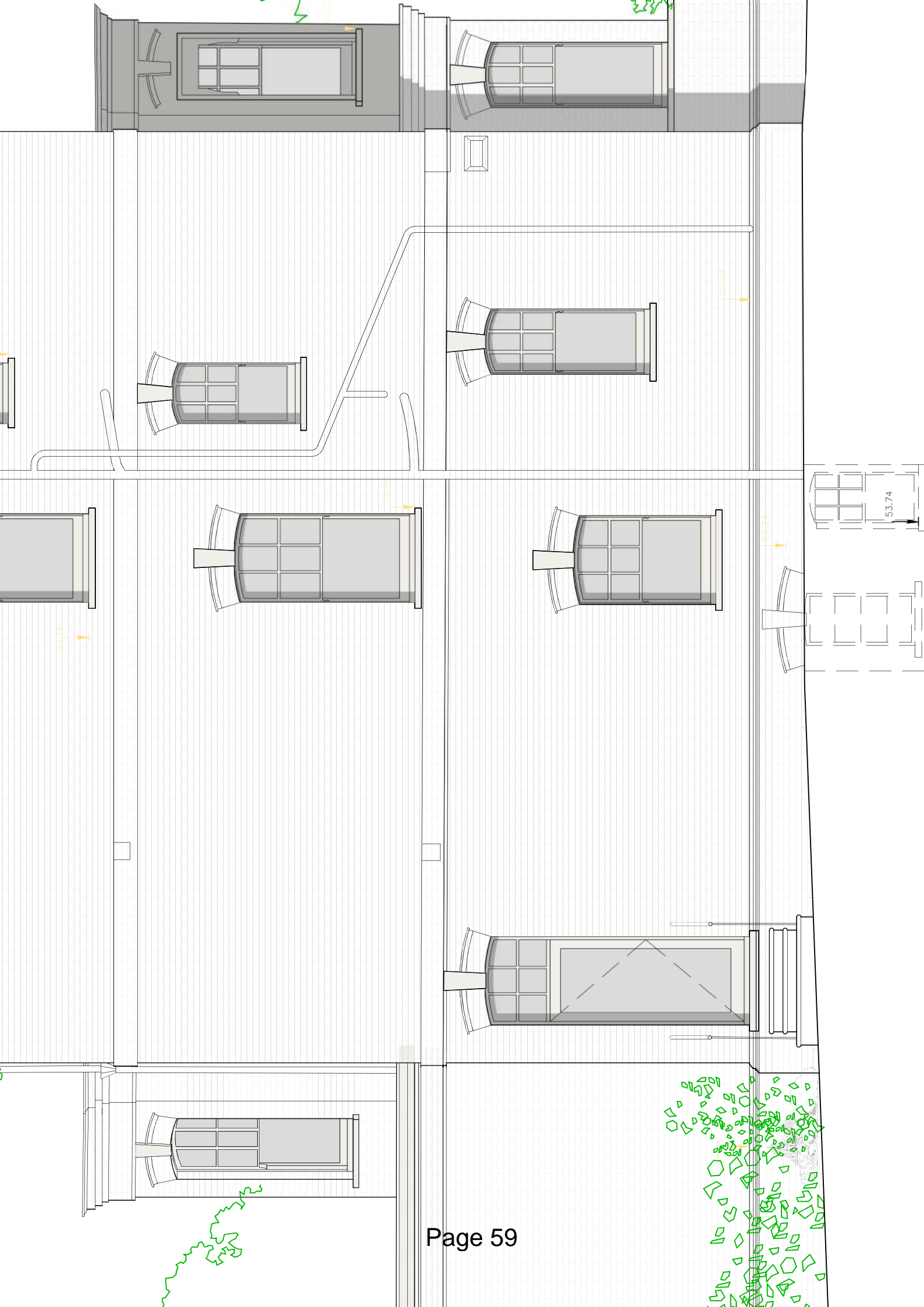
EAVES STORAGE



GUEST ROOM

ENSUITE





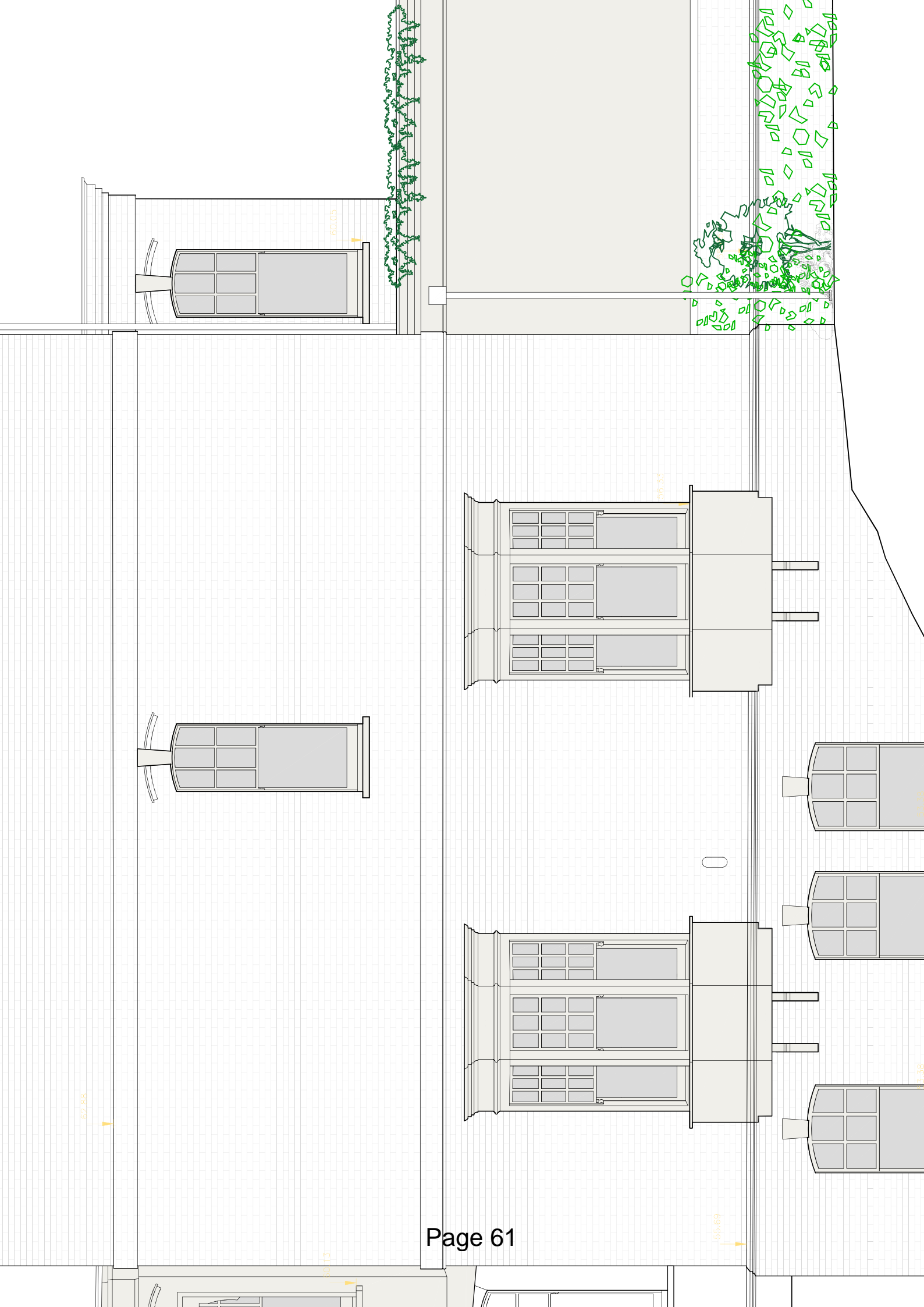


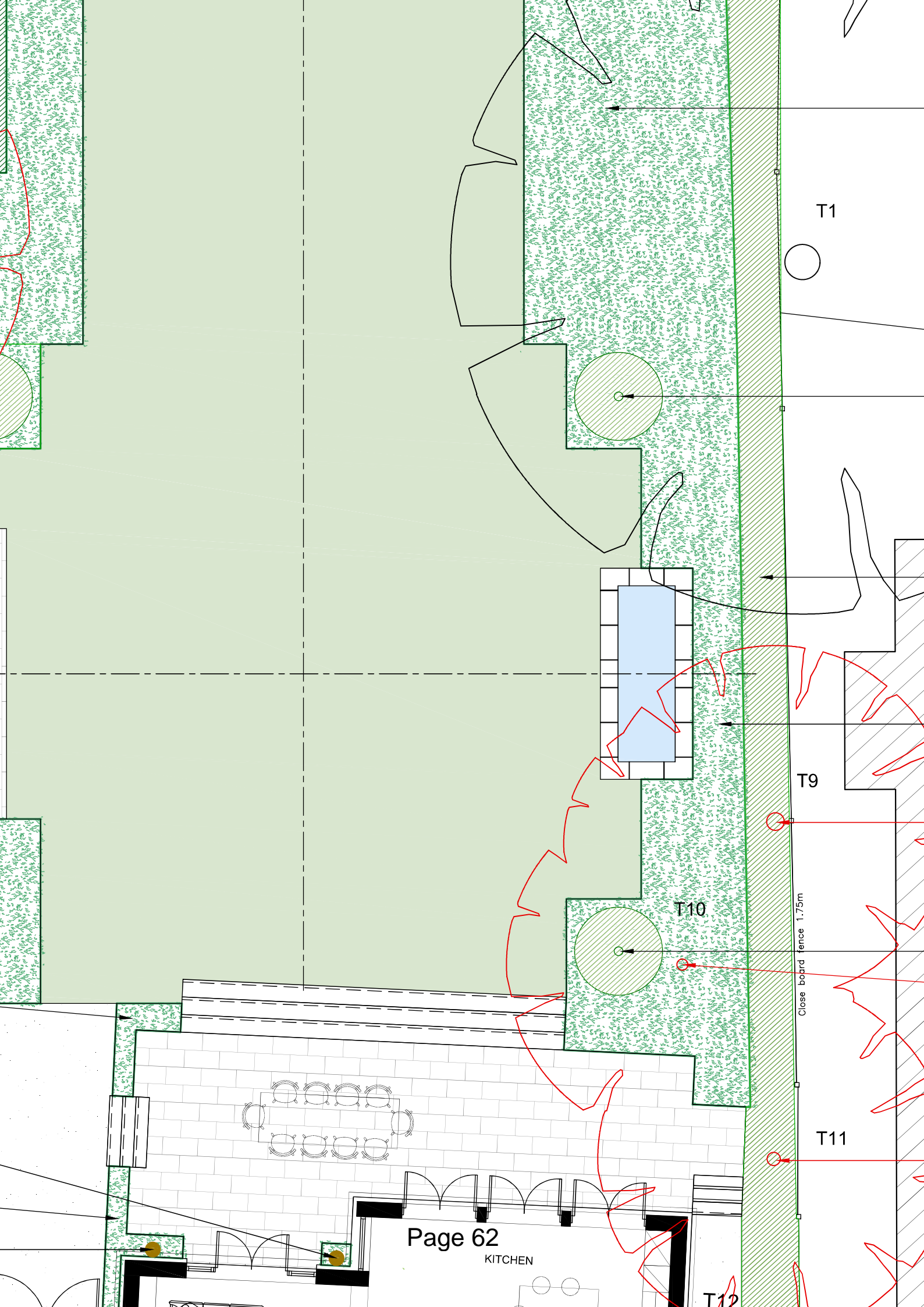
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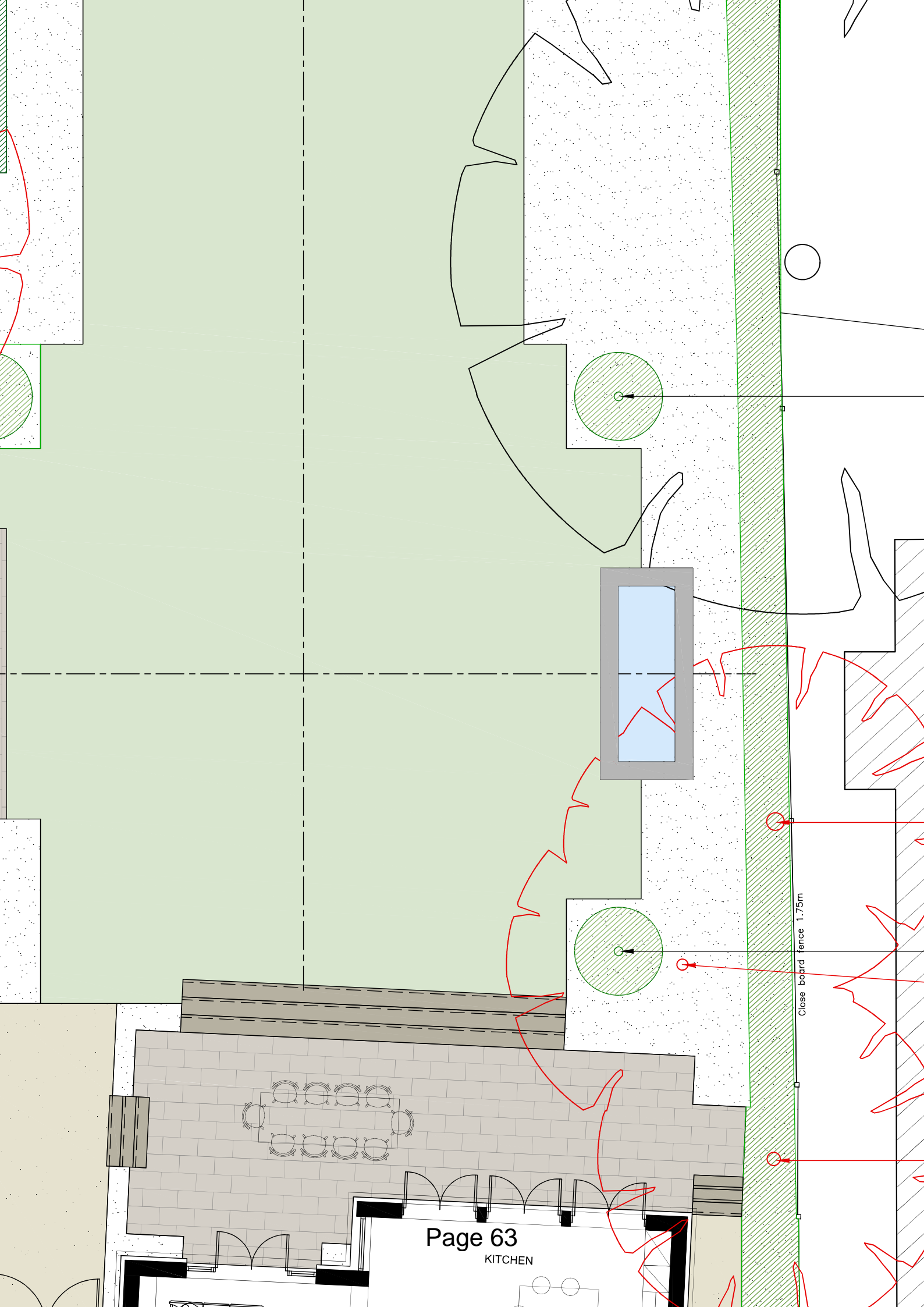
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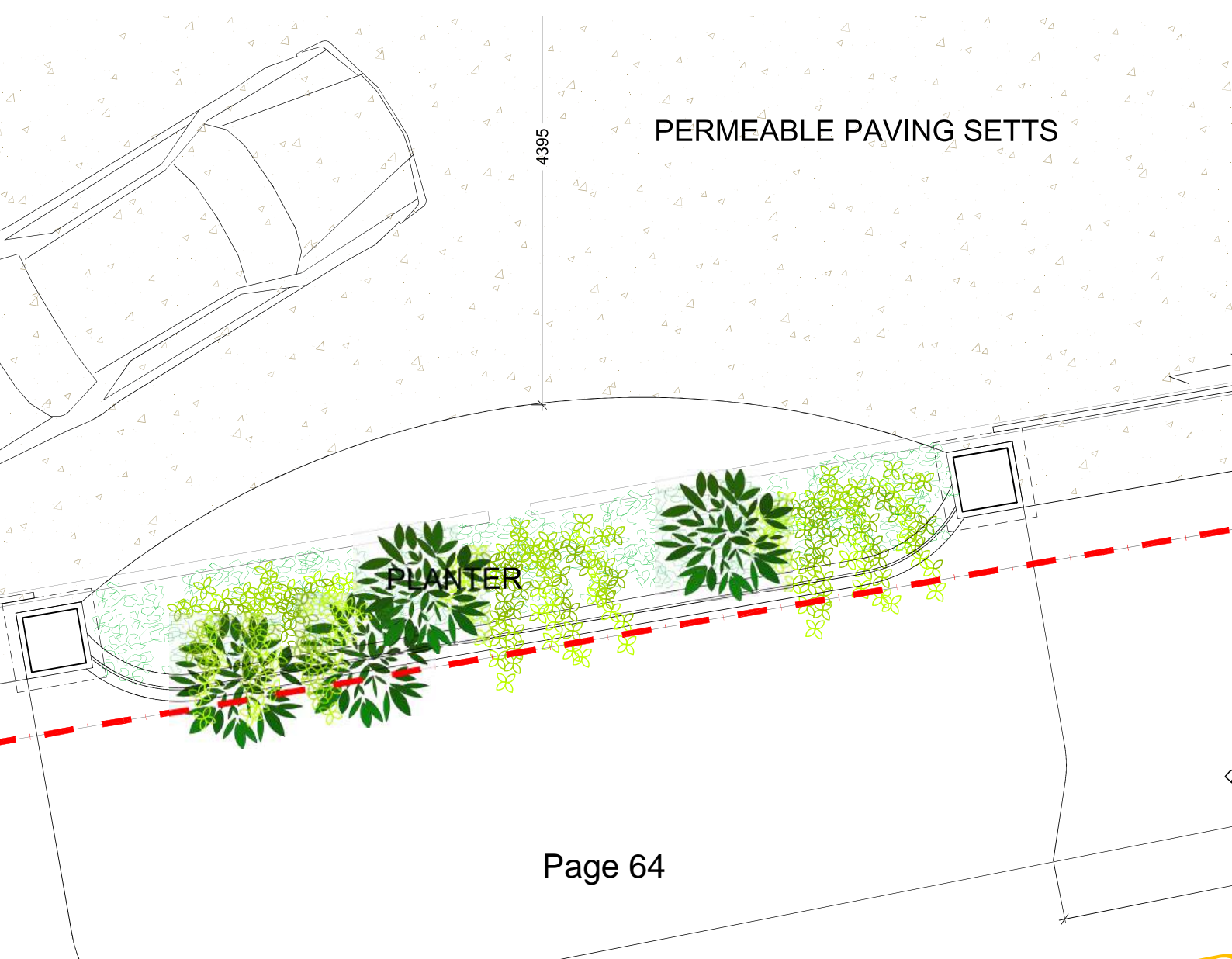




Close board fence 1.75m



ATION



PLANNING APPLICATIONS COMMITTEE
December 2021

APPLICATION NO.
21/P1863

DATE VALID
10/05/2021

Address/Site: 441 Commonsides East Mitcham CR4 1HJ

Ward: Pollards Hill

Proposal: DEMOLITION OF EXISTING SINGLE DWELLINGHOUSE AND ERECTION OF 7 X TWO STOREY DWELLINGHOUSES, ALONG WITH PARKING, HARDSTANDING, LANDSCAPING, CYCLE AND REFUSE STORAGE.

Drawing No.'s: 3402/L/02; 3402/P/11.RevA; 3402/P/12.RevA; 3402/P/13.RevB; 3402/P/15.RevA; 3402 P/14.RevA; 3402/P/21; 211381/SK/01; 3402/L/01; Construction Logistics Plan-211381/CLP/JR/RS/01

Contact Officer: Jourdan Alexander (020 8545 3122)

RECOMMENDATION

Grant planning permission subject to conditions and S.106 agreement to secure private waste collection.

CHECKLIST INFORMATION

- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 19
- External consultations: 0
- Conservation area: No
- Listed building: No
- Archaeological priority zone: No
- Tree protection orders: No
- Controlled Parking Zone: No
- Flood Zone: Zone 1
- Designated Open Space: No
- Town Centre: No
- Public Transport Accessibility Level 0 (0 being the worst and 6 being

excellent).

1. INTRODUCTION

- 1.1 This application is being brought to the Planning Applications Committee for determination due to number of objections received.

2. SITE AND SURROUNDINGS

- 2.1 The application site is located at 441 Commonsides East, Mitcham, CR4 1HJ, which is a large square shaped plot of approximately 35m length and 35m depth. The plot is currently occupied by a single storey, two bedroom bungalow. There is also a detached double garage located on the site's northern corner. The remainder of the plot is largely soft landscaped with hedge rows along boundaries and grassed areas within, a few small trees are also present. There are areas of hardstanding including the concreted driveway and a patio area close to the house.
- 2.2 The accessway to the plot including parts between 439 and 449 Commonsides East also forms part of the subject site.
- 2.3 The site has a backland character with limited visibility from public vantages. There are outdoor open spaces nearby, notably Mitcham Common within a 100m walking distance. To the north of the application site are allotment gardens. To the east is a newly finished residential development in which a terrace of 6 x 2 bedroom houses have been built (Council ref: 16/P1210). These houses are two storey with valley roof forms.
- 2.4 Terraced dwellings are located to the south of the application site, with the rear gardens of these properties backing onto the accessway. The majority of these houses have garages/outbuildings to the rear of their gardens, in which several open onto the accessway. To the west of the application site are terraced houses that front Castleton Road. Wrapping around the outside of these houses is a private access lane, which abuts the application site's western boundary.
- 2.5 The site is not located within a Controlled parking Zone (CPZ) and has a public transport access level (PTAL) of 0 (0 being poor and 6 being excellent), and as such is considered to be poorly served by public transportation.

3. CURRENT PROPOSAL

- 3.1 The application seeks planning permission for the demolition the existing bungalow, and construction of a terrace row consisting of 7 houses. Each house would be two stories, and have accommodation arranged across ground, first, as well as a loft level. All houses would have 3 bedrooms, with four of the houses designed for 4 persons, 2 houses for 5 person and 1 house for 6 persons. Seven onsite car parking spaces would be provided on the front

forecourt, with cycle storage and bin storage facilities also accommodated on this space.

- 3.2 The proposed terrace would be orientated north-south with rear gardens on the eastern side of the terrace and the car parking area on the western side. The terrace block would be positioned parallel to the recently built terrace at the adjacent site (443-447 Commonside East), in which the rear of the proposed terrace and rear of this neighbouring terrace would be positioned back-to-back.
- 3.3 The design would be consistent across the development, with all houses sharing the same pattern of openings and solid parts, and each having a valley roof form above. The front entrance doors would be set within a recess and pop-out oriel windows are provided to the front elevation at first floor. External materials to be used are consistent with the recently completed neighbouring development, including buff stock brick, aluminium framed windows and slate roofs.
- 3.4 The application proposes to install an automatic vehicle entrance gate at the car park entry. In addition, dense hedge, shrub and tree planting is planned along east, south and west boundaries. The applicant states that the access road into the site would be upgraded with new surfaces similar to those undertaken for the neighbouring development at 443-447 Commonside East. Marked pedestrian footways would also be created.
- 3.5 The development would have the following approximate dimensions:

Building heights - ridge: 8.85m, eaves: 6.30m

House plot width- 4.9m

House depth (front to rear measurements) ranges from 9.0m (southernmost house) to 10.7m (northernmost house)

4. RELEVANT PLANNING HISTORY

441 Commonside East

- 4.1 20/P3163- PRE-APPLICATION ADVICE FOR DEMOLITION OF EXISTING HOUSE AND ERECTION OF 7 X4 RESIDENTIAL DWELLINGS.
- 4.2 MER 378/84 ERECTION OF A TWO STOREY EXTENSION AT SIDE OF BUNGALOW TO PROVIDE SELF-CONTAINED "GRANNY" UNIT. Permission Granted (1984)
- 4.3 MER 85/68 OUTLINE APPLICATION FOR TWO STOREY BUILDING OF FOUR MAISONETTES, RANGE OF FOUR GARAGES INVOLVING DEMOLITION OF EXISTING BUILDING. Permission Refused 1968
- 4.4 MER 86/68 OUTLINE APPLICATION FOR TWO DETACHED HOUSES AND TWO GARAGES INVOLVING DEMOLITION OF EXISTING BUILDING. Permission Refused 1968

443-447 Commonside East

- 4.5 16/P1210 - DEMOLITION OF EXISTING BLOCK OF FLATS AND THE ERECTION OF 6 X 2 BEDROOM TERRACED RESIDENTIAL DWELLINGS WITH ASSOCIATED PARKING, AMENITY SPACE, CYCLE STORAGE AND REFUSE STORAGE PROVISION. Permission Granted (Planning Committee - 2016)

5. CONSULTATION

- 5.1 Public consultation was undertaken by way of site notice and by post sent to neighbouring properties.
- 5.2 11 letters were received objecting to the proposal for the following reasons as summarised:
- The new development would result in privacy issues and overlooking of neighbouring properties. The 20m distance between new and existing houses is too short.
 - The trees proposed within the development would block our sunlight.
 - The height of the development would block light.
 - There are no details of how asbestos would be dealt with.
 - There is currently a gap in the shrub where the existing building is (441) but this should be planted at the same height before the construction works of the new development to tackle sound and dust and provide privacy.
 - Keeping the shrubs continuously spread at the same minimum 5m height by the boundary of 443-447 and the new development at 441 Commonside is imperative to maintaining our privacy.
 - Trees by the fence line are not acceptable as they easily grow out of hand, and their roots can damage fence lines and property over time.
 - The height of the new development is unconfirmed and plans are confusing as to how many stories / bedrooms will be built. Our worry is that the new builds will over tower our property since the roof and view to the sky would be effected.
 - Since the proposed distance between the back of the two developments is the bare minimum and unprecedented in this area we suggest glazed windows or window films to be installed to maintain resident's privacy.
 - Bin collection is currently an issue for us as the council are refusing to collect general waste from our bin area.
 - Construction working hours would cause disturbance to residents.
 - Starting date should be moved from 8 to 9am on Saturdays.
 - There would be traffic issues and disturbance from vehicles using the narrow access alley
 - The number of parking spaces are inadequate to serve the development and would lead to overflow car-parking.

- The development would further limit access to the alleyway.
- Delivery vehicles reversing would be dangerous.
- The electric gates could prevent delivery and or vehicles entering the site causing prolonged idling.
- The site is in a conservation area and you cannot knock down the bungalow to building houses
- The proposal would introduce traffic through a narrow lane that would cause safety issues for pedestrians and result in noise, disturbance and accidents.
- Construction of the development would be challenging for trucks to access; furthermore it is not clear where work vehicles would park.
- The scaffolding used to build the development would create privacy issues.

Comments made towards re-consulted documents ref: 211381/TR/02 and 211381/SK/01:

- Document fails to identify vehicles parked outside 441, which would prohibit turning.
- The vehicles would touch my wall in 2 places, as well as entering gardens during the manoeuvre
- The pedestrian walkway leads to the refuse area and not the pedestrian access.
- The use of traffic calming procures would have minimal effect due to the width of the access path.
- The document fails to account for pedestrians coming from neighbouring properties and surrounding areas.

5.3 Planning officer's comments – Matters raised in the objections have been covered within the delegated report. In terms of noise and disturbance created during the building work, these matters would be covered and monitored by the Council's Environment and Health team. All works would be expected to adhere to the Council's Construction Code of Practice. Adherence to a Working Method Statement and Construction Logistics Plan have been conditioned.

5.4 LBM Highways Officer:

No objections, provided the following conditions are in place – Working Method Statement and Construction Logistics Plan.

Highways must be contacted prior to any works being carried out to ensure all relevant licenses are in place.

5.5 LBM Flood Management Officer:

The applicant is proposing onsite storage and a discharge rate of 2.3l/s. No objections, please include the condition below.

Prior to the commencement of development, a detailed scheme for the provision of surface and foul water drainage shall be submitted to and approved in writing by the local planning authority for both phases of the development. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) at the agreed runoff rate (no more than 2.3l/s, with no less than 14.0m³ of attenuation volume), in accordance with drainage hierarchy contained within the London Plan Policy and the advice contained within the National SuDS Standards

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy SI13

5.6 LBM Transport Planner:

The submitted tracking diagrams and dimensions show that the access and parking would be acceptable. Please note Refuse Officer comments.

5.7 LBM Refuse Officer:

The access way is too narrow for standard size refuse trucks to enter the site, and therefore the Council's refuse collectors will be unable to service the units. Concerns raised about whether a private waste collection company with suitable size vehicles will be available to service the site at all times. Therefore, whilst the option of a private provider for waste collection is acknowledged, questions arise whether this would be sustainable practice for waste collection over the life of the development

6. POLICY CONTEXT

6.1 National Planning Policy Framework (2021)

- 5. Delivering a sufficient supply of homes
- 9. Promoting sustainable transport
- 11. Making effective use of land
- 12. Achieving well-designed places

6.2 London Plan (2021)

Relevant policies include:

- GG1 Building strong and inclusive communities
- GG2 Making the best use of land
- GG3 Creating a healthy city
- GG4 Delivering the homes Londoners need
- GG6 Increasing efficiency and resilience
- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D8 Public realm

- G6 Biodiversity and access to nature
- H1 Increasing housing supply
- H2 Small sites
- SI2 Minimising greenhouse gas emissions
- SI5 Water infrastructure
- SI13 Sustainable drainage
- T3 Transport capacity, connectivity and safeguarding
- T4 Assessing and mitigating transport impacts
- T5 Cycling
- T6.1 Residential parking
- T7 Delivery servicing and construction

6.3 Merton Local Development Framework Core Strategy – 2011 (Core Strategy)

Relevant policies include:

- CS 8 Housing choice
- CS 9 Housing provision
- CS 12 Economic development
- CS 13 Open Space, Nature Conservation, Leisure and Culture
- CS 14 Design
- CS 15 Climate change
- CS 17 Waste management
- CS 18 Active Transport
- CS 19 Public transport
- CS 20 Parking servicing and delivery

6.4 Merton Sites and Policies Plan – 2014 (SPP)

Relevant policies include:

- DM H2 Housing mix
- DM H3 Support for affordable housing
- DM D1 Urban Design
- DM D2 Design considerations
- DM F2 Sustainable urban drainage systems
- DM O2 Nature conservation, trees, hedges and landscape features
- DM T2 Transport impacts of development
- DM T3 Car parking and servicing standards
- DM T4 Transport infrastructure

6.5 Supplementary planning considerations

- London Housing SPG – 2016
- London Character and Context SPG -2014
- DCLG - Technical Housing Standards 2015
- Merton Small Site's Toolkit – 2021
- Merton Character Study - 2021

7. PLANNING CONSIDERATIONS

7.1 Material Considerations

The key issues in the assessment of this planning application are:

- Principle of development.
- Design and impact upon the character and appearance of the area.

- Impact upon neighbouring amenity.
- Standard of accommodation.
- Transport and parking.
- Refuse storage and collection.
- Sustainable design and construction.
- Cycle storage.
- Flood risk and urban drainage.

Principle of development

- 7.2 Paragraph 1.4.5 of the London Plan (2021) states that to meet the growing need, London must seek to deliver new homes through a wide range of development options. Policy H1 ‘Increasing housing supply’ marks an increase to Merton’s 10 year targets for net housing completions, with the new target set at 9,180 or 918 homes per year. Policy D3 – ‘Optimising site capacity through the design-led approach’, states that incremental densification should be actively encouraged by Boroughs to achieve a change in densities in the most appropriate way. Core Strategy policies CS8 & CS9 seek to encourage proposals for well-designed and conveniently located new housing that will create socially mixed and sustainable neighbourhoods through physical regeneration and effective use of space.
- 7.3 The proposal would replace a two bedroom bungalow with 7 new homes. All homes would be family sized (three bedroom) for which there is measurable local need. Therefore, notwithstanding the need to carefully consider design, transport and other technical aspects of the proposal in more detail, officers consider that a more intensive residential development could be supported in principle. The proposed densification is therefore consistent with London Plan and Merton Council planning policies and objectives.

Design and impact upon the character and appearance of the area

- 7.4 The NPPF section 12, London Plan policies D2, D3 and D4, Core Strategy policy CS14 and SPP Policies DMD1 and DMD2 require well designed proposals which would optimise the potential of sites that are of the highest architectural quality and incorporate a visually attractive design that is appropriate to its context. Development must relate positively to the appearance, scale, bulk, form, proportions, materials and character of their surroundings, thus enhancing the character of the wider area.

Layout and typology

- 7.5 Officers are supportive of the proposed building typology that seeks to create a terrace row of houses. This approach is consistent with the architectural grain of the area, in which terrace rows are the dominant housing type. The site layout also appears appropriate, given that the terrace row would be positioned parallel to the recently completed terrace row of 6 houses at 443-447 Commonsides East. The proposed and existing terrace would be positioned back-to-back with gardens at the centre, thereby ensuring private

amenity space is contained at rear, and the creation of a clearly defined edge to the development with building blocks to the front. The front elevation would provide animation and overlooking to entrances and the forecourt. The layout and typology is considered sensible in townscape terms and importantly uses available space efficiently.

- 7.6 The proposed terrace would have sufficient space between the older terrace groups to the south which front Commonside East, and terrace houses to the west. It is noted that the site is fairly regular in shape compared to 443-447 Commonside East, which narrows at one end. This meant the neighbouring development needed to stagger the front elevation of the building to ensure houses at the site's end could still be visible, and to create natural surveillance. The application site is less constrained in this respect, and an even front building line to the terrace is considered appropriate.

Scale, design and materials

- 7.7 The buildings would have a height of 8.85m, which is comparable in height to the development at 443-447 Commonside East in which building heights are 8.31m. It is not considered that a small height difference (54cm) between the two terrace groups would cause a jarring visual transition between the two building blocks. The development would have an extra house compared to the adjoining development at no.443-447. Officers consider that the number of houses within the terrace row has been effectively managed by the applicant through thoughtful design that uses architectural features and articulation effectively to break-up each housing plot. The width of each house relative to its height also appears appropriately proportioned, and although the houses would be compact it is not considered that an impression of a cramped development would be created.
- 7.8 The development's valley roof would provide visual cohesion with the completed development on the neighbouring site, and acts to reduce the building's upper bulk. It is acknowledged that this proposal unlike the neighbouring development would also utilise accommodation at loft level. This is considered acceptable, given that the loft would be contained in the valley roof, whereby the external visual impression of a two-storey development is maintained.
- 7.9 In terms of design, the architecture is considered attractive with a clear sense of rhythm and scale, achieved through design articulation, modelling and texture. The pitched roof form clearly identifies each individual house. The entrance doors would be set within a recess to provide weather protection. Windows to be set within 80mm deep reveals, pop out oriel windows installed at front elevations, and recessed brick panels would be provided at rear and side elevations. It is important to ensure that such architectural features are locked into the proposal and therefore conditions are in place to secure detailed drawings of these parts to make sure they are later incorporated within the build.
- 7.10 In terms of materials buff stock brick, aluminium framed windows and slate

roofs are proposed. These materials are similar to the recently completed neighbouring development and should provide a high quality finish.

Gardens, forecourt and access way

- 7.11 Small landscaped areas would front each house, helping to soften the frontage. External space for refuse storage would be positioned to the front of each house in a discreet storage box. The front forecourt would have a functional design with car parking space sensibly positioned, and the pedestrian footpath would be demarcated from the main parking area so that car and pedestrian areas are clearly defined.
- 7.12 The submitted plans detail that hedge, scrub and tree planting would be established to the perimeter. A condition has been imposed requiring full details of the landscaping including new and retained vegetation, as care is needed to ensure that vegetation enhances visual amenity and appropriately safeguards neighbour living conditions.
- 7.13 The application proposes to retain the existing boundary fencing between the site and 443-447 Commonside East. Other fencing along the boundary including an access gate would be 2.0m height, and a condition is recommended to secure this detail.

Conclusion

- 7.14 Overall the layout, scale and design of the buildings are considered thoughtfully designed and sympathetic to the surrounding properties. The buildings would not appear obtrusive from external views, and the materials selected and architectural detailing is expected to create a high quality build.

Impact upon neighbouring amenity

- 7.15 SPP policy DM D2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.
- 7.16 The Council's Small Sites Toolkit 2021, provides guidance towards new development stating that '*proposals that are located to the rear of neighbouring buildings in residential areas should sit below a 25 degree line drawn from the middle of the lowest existing neighbouring habitable room window. If the proposal obstructs the 25 degree line, a detailed daylight/ sunlight study must be submitted*'. In this case, the new houses would be at least 20m from the rear elevation of the terrace at 443-447 Commonside East and with the proposal having a ridge height of 8.85m, an angle of 23.87 degrees is created. This indicates that the proposal would not create undue harm due to loss of light. It is worth noting that this angle would be less again if the measurement had been taken from the middle of the lowest existing neighbouring habitable room window, rather than from ground level thereby affirming the absence of an impact on natural light. The

development's valley roof in which eaves reduce to 6.3m would further reduce potential for overshadowing.

- 7.17 The proposal would not cause over shadowing to the established terrace houses to the south fronting Commonside East. This is because there would be adequate distance between the new buildings and neighbours, and because of the development is orientated directly north thus limiting any potential overshadowing effect to late evenings around mid-summer. The houses to the west fronting Castelton Road would not be overshadowed due to the large separation distance between buildings.
- 7.18 It is not considered that the scale of the development would create an enclosing impact to neighbours given that sufficient space would be kept between building blocks including gardens relative to the size and proportions of the proposal. Whilst new views towards the proposal would be created, this is not considered a reason to refuse planning permission given the site's location in a residential neighbourhood surrounded by terrace houses.
- 7.19 In terms of impacts to privacy, the distances between rear windows of the scheme and rear facing windows of the completed terrace at 443-447 Commonside East would be at least 20m. This distance is consistent with the wider parameters referenced in the Mayor of London's Housing Design Guidance (18-20m) and Merton Small Sites SPD (18m). Window openings on the proposal's south flank wall would be closer than 20m, and have been conditioned to be obscure glazed at first floor level. These two windows serve a bathroom and ensuite.
- 7.20 There would be some views from rear facing windows towards rear gardens of the terrace at no.443-447; however, all rear gardens within this development already experience some form of mutual overlooking from adjacent houses on the site, and as such new views created towards these spaces would not be considered problematic to a degree permission could reasonably be refused. Furthermore, the applicant proposes planting along the perimeter with the neighbour, which should further lessen views across. Conditions are proposed requiring specifications and details of new and retained planting.
- 7.21 The development would increase the density on site, and therefore noise created from the residential uses would be greater than currently generated by the single house. However, given the context of the site in an existing residential environment, the impacts caused from greater residential density are unlikely to be harmful in planning terms.
- 7.22 Lastly, the proposal would increase the traffic generated through the access way as occupants enter/exit the site by vehicle or by foot. In terms of vehicle movements, the applicant's transport statement estimates 3 to 4 two-way trips per unit, in the peak periods per day (AM Peak 08:00 – 09:00 & PM Peak 17:00 – 18:00). It is not considered this level of vehicle movement from 7 residential houses (each having only 1 car park space), would cause an excessive degree of noise towards neighbours, including no. 439 and 499 Commonside East that flank the access. Vehicle speeds are expected to be

low given the access's narrow width (3.35m) and short length. An upgraded access way surface with additional traffic calming measures in the form of a speed cushion should further reduce speeds and potential for there to be car related disturbances. Conditions are in place requiring details of the upgraded access way including traffic calming measures.

- 7.23 To ensure the safety and security of residents, the proposal has been conditioned requiring details of external lighting
- 7.24 Overall, the proposal with recommended conditions in place would safeguard the living conditions of adjoining neighbours, and therefore would comply with relevant local plan policy.

Standard of accommodation

- 7.25 London Plan policy D6 states that housing development should be of high quality design and provide adequately-sized rooms, with comfortable and functional layouts which are fit for purpose and meet the needs of Londoners. The Sites and Policies Plan policy DM D2 seeks to ensure good quality residential accommodation with adequate levels of privacy, daylight and sunlight for existing and future residents, the provision of adequate amenity space and the avoidance of noise, vibration or other forms of pollution.
- 7.26 The table below provides a breakdown of the internal space for each house along with private external amenity space.

House	Type	GIA (sqm)	London Plan requirement for GIA (sqm)	External amenity space (sqm)
1 (southernmost)	3b/4p	96.7	90	57.9
2	3b/4p	96.7	90	63.3
3	3b/4p	96.7	90	61.7
4	3b/4p	96.7	90	62.9
5	3b/5p	103.6	99	61.4
6	3b/5p	103.6	99	62.6
7 (northernmost)	3b/6p	115.9	108	62.2

- 7.27 All of the houses would exceed Internal Space Standards (GIA), and would have adequately sized rooms and convenient and efficient room layouts, which are functional and fit for purpose. Good outlook as well as adequate daylight / sunlight would be received into habitable rooms. Officer's note that the loft level bedrooms would be served by roof lights rather than a traditional window. No objections are raised towards this configuration given that the roof lights would be on a sloped part of the roof, of good size, and well positioned to generate adequate amounts of light and outlook for the occupants.

- 7.28 In terms of external amenity size, the Council's SPP policy DM D2, paragraph 6.17, seeks for new houses to have a minimum garden area of 50sqm. All houses would exceed the 50sqm required by policy.
- 7.29 All units would have good amounts of privacy from both existing houses that neighbour the site, and the new houses created by the proposal. The loft level roof lights would be installed on north facing roof slopes only thus avoiding mutual views between windows.

Transport and Parking

- 7.30 Core Strategy policy CS20 and SPP policy DM T3 require that developments would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, on street parking or traffic management.
- 7.31 The proposed quantum of parking, one parking space per house, is in-line with London Plan standards for outer London. It is known from census data that across all of Merton car ownership for households was between 60% and 70%, and for private owner occupied households average car ownership was approximately 1 car. Given these figures, the level of car-parking allocation is considered adequate to offset the number of cars produced by the scheme. The applicant has supplied a parking beat survey that shows that car parking on-street is relatively stressed. However, there are a limited number of parking spaces potentially available should there be a small degree of car overspill from the development. Notwithstanding this, Merton Council data would suggest the car parking allocation is sufficient for the development.
- 7.32 The applicant has demonstrated through 'swept path analysis' that the parking and access area would have sufficient space for cars to turn within the site, and enter and exit in a forward gear.
- 7.33 For other service vehicles such as deliveries of online shopping, submitted 'swept path analysis' has been completed for a 4.6 tonne vehicle entering and exiting the site. The analysis demonstrates that the car park and access arrangements would cater for delivery vehicles entering the development from the access to deliver to the properties. The vehicle could then reverse out of the car park onto the access way, to then exit the site in a forward gear onto the highway
- 7.34 The pedestrian access to the development would need to be shared with vehicles because the access way is too narrow to separate from the footway. The pedestrian routes will be demarcated by a change in surfacing colours, which is expected to make vehicles aware of the potential presence of pedestrians and gives some assurance to those using this route.
- 7.35 In terms of access for emergency services, the applicant has acknowledged that the width of the access does not comply with Building Regulations for fire services and therefore an alternative fire strategy will be need to be employed. It is therefore advised that the applicant contact the relevant fire authority and ambulance services in order to conduct a fire and safety audit

for the site. (Officers note that following similar issues being raised in respect of a recently approved backland scheme for dwellings at Leafield Road and Robinson Road, in both cases officer's attached a suitable condition requiring fire safety measures to be prepared and for these to be reviewed in consultation with the London Fire Brigade before occupation). Subject to the potential to attach a similar condition it would be unreasonable for the Council to withhold planning permission.

- 7.36 Given the restricted nature of the site and the scope of works, the applicant has submitted a Construction Logistics Plan which has been conditioned, as has a Working Method Statement. All documents for the proposal have been consulted with Highways and Transport Planning Officers, and no objections towards the above matters were raised.

Refuse Storage and Collection

- 7.37 Merton Core Strategy Policy CS17 require new developments to show capacity to provide waste and recycling storage facilities. Waste storage facilities should be integrated, well-designed and include recycling facilities.
- 7.38 The applicant's site plan details that individual refuse storage would be provided to the front of each house within a discreet storage box, with refuse moved to the allocated collection unit immediately behind the gated entrance for collection. The Council's Refuse Officer has reviewed the plans and advised that the access way into the site would be too narrow for the Council's waste collection contractor (Veolia) to reach, as refuse collection trucks would be too large. Contractor requirements also stipulate that collection points must be within a maximum distance of 10 metres of collection vehicles. This cannot be achieved.
- 7.39 Planning officers have explored the prospect of a refuse collection point being located near the public road of Commonsides East. However, the drag distances to the highway would be excessive and unreasonable for the new occupants being up to 50m from houses. Furthermore, a collection point on the access way would block vehicles from entering into and out of the site due to narrow road widths.
- 7.40 Given that the Council is unable to service the site for refuse collection, the applicant would need to arrange private refuse collection. The applicant has agreed with planning officers to arrange private refuse collection for the new houses. Waste management services company 'Grundon' has been approached by the applicant, and advised that they are able to collect the refuse generated from the households, a quotation of the service has been shared with the Council. The applicant has also confirmed some practicalities of this arrangement which can be weekly, provides collection of all waste streams including recycling, that collection services have ability to access the site's refuse store, and that the costs of carrying out this service is considered by the applicant as reasonable.

- 7.41 Given the above, planning officers are amenable towards a private waste collection arrangement, and that this arrangement would be secured by way of legal agreement for the lifetime of the development. The legal agreement would be framed to cover the precise nature of the expected refuse collection arrangement, responsibilities, and contingency in place should the applicant fail to provide private refuse collection at any point in the future. The granting of planning permission would be contingent on a robust legal agreement surrounding refuse collection matters being secured.

Cycle storage

- 7.42 Cycle storage is required for new development in accordance with London Plan Standards and Core Strategy policy CS 18. The Plan requires one cycle parking space for 1 bed 1 person units, 1.5 spaces per 1 bedroom, 2 person unit and two spaces for all other dwellings.
- 7.43 Cycle storage facilities are proposed near the front of the car park, with space for 14 cycles. These facilities are considered to be acceptable.

Sustainable design and construction

- 7.44 London Plan policies SI2 and SI5, and CS policy CS15 seek to ensure the highest standards of sustainability are achieved for developments which includes minimising carbon dioxide emissions, maximising recycling, sourcing materials with a low carbon footprint, ensuring urban greening and minimising the usage of resources such as water.
- 7.45 As per CS policy CS15, minor residential developments are required to achieve a 19% improvement on Part L of the Building Regulations 2013 and water consumption should not exceed 105 litres/person/day. It is recommended to include a condition which will require evidence to be submitted that a policy compliant scheme has been delivered prior to occupation.

Flood risk and urban drainage

- 7.46 The applicant has submitted a drainage strategy for the development, the report proposes that the drainage regime would be to discharge to the existing Thames Water sewer located on site via an attenuation tank restricted by a Pumping Station at 2.3 l/s. This is the lowest recommended rate the Pump can be set at to avoid a significant increase in risk of blockages.
- 7.47 The development proposals will increase the hardstanding area, however as they will not be located in a low flood risk area (Flood Zone 1), there will be no impact on the free flow of flood waters or loss of flood storage volumes generated from a 1 in 100 year storm event, including allowances for climate change. A safe and dry access can be provided during times of flooding, as the site is located in a low flood risk probability area.

7.48 The drainage strategy has been shared with the Council's Flood Management Officer, who raised not objections towards flooding or urban drainage, subject to a condition that requires a detailed scheme for the provision of surface and foul water drainage to be submitted to the Council prior to development.

8. CONCLUSION

8.1 The proposal is considered to be acceptable in principle, providing seven residential homes, in line with planning policy. The proposal is considered to be well designed, appropriately responding to the surrounding context in terms of massing, heights, layout and materials.

8.2 The proposal is considered to accord with the relevant National, Strategic and Local Planning policies and guidance and approval could reasonably be granted in this case. It is not considered that there are any other material considerations which would warrant a refusal of the application.

RECOMMENDATION

Grant planning permission subject to a S.106 agreement to secure private refuse collection, the applicant paying the Council's reasonable costs for drafting and monitoring the agreement and the following conditions:

1. The development to which this permission relates shall be commenced not later than the expiration of 3 years from the date of this permission.

Reason: To comply with Section 91 (as amended) of the Town & Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: [Refer to the schedule on page 1 of this report].

Reason: For the avoidance of doubt and in the interests of proper planning.

3. No development shall take place until details of particulars and samples of the materials to be used on all external faces of the development hereby permitted, including window frames and doors (notwithstanding any materials specified in the application form and/or the approved drawings), have been submitted to the Local Planning Authority for approval. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall be carried out in full accordance with the approved details.

Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: policy D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

4. No development shall take place until detailed drawings to a scale of no less than 1:10 (including cross-section and elevation), in respect to all external windows, doors and recessed panelling to elevations, have been submitted to and approved in writing by

the local planning authority, and the works shall not be carried out other than in accordance with the details so approved and shall thereafter be so maintained.

Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: policy D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

5. No development shall commence until details of the vehicular access to serve the development, including upgrading of the access way and traffic calming measures, has been submitted in writing for approval to the Local Planning Authority. No works that are subject of this condition shall be carried out until those details have been approved, and the development shall not be occupied until those details have been approved and completed in full.

Reason: In the interests of the safety of pedestrians and vehicles, safeguarding neighbour amenity, and to comply with the following Development Plan policies for Merton: policies CS18 and CS20 of Merton's Core Planning Strategy 2011 and policies DM D2, DM T2, T3, T4 and T5 of Merton's Sites and Policies Plan 2014.

6. Development shall not commence until a working method statement has been submitted to and approved in writing by the Local Planning Authority to accommodate:

- (i) Parking of vehicles of site workers and visitors;
- (ii) Loading and unloading of plant and materials;
- (iii) Storage of construction plant and materials;
- (iv) Wheel cleaning facilities
- (v) Control of dust, smell and other effluvia;
- (vi) Control of surface water run-off.

No development shall be carried out except in full accordance with the approved method statement.

Reason: To ensure the safety of pedestrians and vehicles and the amenities of the surrounding area and to comply with the following Development Plan policies for Merton: policies T4 and T7 of the London Plan 2021, policy CS20 of Merton's Core Planning Strategy 2011 and policy DM T2 of Merton's Sites and Policies Plan 2014.

7. The construction works including demolition shall be carried out in full accordance with the submitted Construction Logistics Plan by Lanmor Consulting, unless otherwise agreed in writing with the local planning authority.

Reason: To ensure the safety of construction and the amenities of the surrounding area and to comply with the following Development Plan policies for Merton: policy T4 of the London Plan 2021, policy CS20 of Merton's Core Planning Strategy 2011, and policy DM D2 and DM T2 of Merton's Sites and Policies Plan 2014.

8. No development shall take place until details of all boundary walls, fences or gates are submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied until the works to which this condition relates have been carried out in accordance with the approved details. The walls, fences or gates shall be permanently retained thereafter.

Reason: To ensure a satisfactory and safe development in accordance with the following Development Plan policies for Merton: policies D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 and D2 of Merton's Sites and Policies Plan 2014.

9. No development shall take place until full details of a landscaping and planting scheme has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved before the commencement of the use or the occupation of any building hereby approved, unless otherwise agreed in writing by the Local Planning Authority. The details shall include on a plan, full details of the size, species, spacing, quantities and location of proposed plants, together with any hard surfacing, means of enclosure, and indications of all existing trees, hedges and any other features to be retained, and measures for their protection during the course of development.

Reason: To enhance the appearance of the development in the interest of the amenities of the area, safeguard living quality, and to ensure the provision of sustainable drainage surfaces and to comply with the following Development Plan policies for Merton: policies G6 of the London Plan 2021, policies CS13 and CS16 of Merton's Core Planning Strategy 2011 and policies DM D2, DM F2 and DM 02 of Merton's Sites and Policies Plan 2014.

10. No development shall take place until a detailed scheme for the provision of surface and foul water drainage has been submitted to and approved in writing by the local planning authority for all phases of the development. The drainage scheme shall dispose of surface water by means of a sustainable drainage system (SuDS) at the agreed runoff rate (no more than 2.3l/s, with no less than 14.0m³ of attenuation volume), in accordance with drainage hierarchy contained within the London Plan Policy and the advice contained within the National SuDS Standards

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy SI13

11. Prior to construction, a scheme of external lighting shall be submitted to, and approved in writing by the Local Planning Authority, and these works shall be carried out as approved before the commencement of the use or the occupation of any building hereby approved, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To safeguard the amenities of the area and ensure highway safety, and to comply with the following Development Plan policies for Merton: policy T4 of the London Plan 2021, policy CS20 of Merton's Core Planning Strategy 2011, and policy DM D2 and DM T2 of Merton's Sites and Policies Plan 2014.

12. No part of the development hereby approved shall be occupied until full details are submitted to, and approved in writing by the Local Planning Authority that show infrastructure for electric or Ultra-Low Emission vehicles within the development's onsite car parking. At least 20 per cent of spaces should have active charging facilities, with passive provision for all remaining spaces. The development shall not be occupied until the works to which this condition relates have been carried out in accordance with the approved details. The charging facilities shall be permanently retained thereafter.

Reason: To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan, Policy CS15 of Merton's Core Planning Strategy 2011 and policy T6.1 of the London Plan 2021

13. No dwelling shall be occupied until the application has provided written confirmation as to the installation of a fire hydrant (or otherwise agreed fire management and safety plan), and that such measures have been agreed by the London Fire Brigade.

Reason: To ensure the development delivers measures for use by emergency services or suitable alternative measures for the development and to comply with the objectives of Merton Core Planning Strategy policy CS20 and Merton Sites and Policies Plan policy DM.D2.

14. The development shall not be occupied until full details confirming that the development has achieved CO2 reductions of not less than a 19% improvement on Part L regulations 2013, and internal water consumption rates of no greater than 105 litres per person per day have been submitted to and approved by the local planning authority.

Reason: To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: Policy SI2 and SI5 of the London Plan 2021 and Policy CS15 of Merton's Core Planning Strategy 2011.

15. The vehicle parking area along with demarcated pedestrian routes shown on the approved plans shall be provided before the commencement of the buildings or use hereby permitted and shall be retained for parking and pedestrian purposes for occupiers and users of the development and for no other purpose.

Reason: To ensure the provision of a satisfactory level of parking and comply with the following Development Plan policies for Merton: policy T6.1 of the London Plan 2021, policy CS20 of Merton's Core Planning Strategy 2011 and policy DM T3 of Merton's Sites and Policies Plan 2014.

16. The development hereby permitted shall not be occupied until the cycle parking shown on the plans hereby approved has been provided and made available for use. These facilities shall be retained for the occupants of and visitors to the development at all times.

Reason: To ensure satisfactory facilities for cycle parking are provided and to comply with the following Development Plan policies for Merton: policy T5 of the London Plan 2021, policy CS18 of Merton's Core Planning Strategy 2011 and policy DM T1 of Merton's Sites and Policies Plan 2014.

17. The development hereby approved shall not be occupied until the refuse and recycling storage and collection storage facilities shown on the approved plans have been fully implemented and made available for use. These facilities shall thereafter be retained for use at all times.

Reason: To ensure the provision of satisfactory facilities for the storage of refuse and recycling material and to comply with the following Development Plan policies for Merton: policy CS17 of Merton's Core Planning Strategy 2011 and policy DM D2 of Merton's Sites and Policies Plan 2014.

18. The hardstanding hereby permitted shall be made of porous materials, or provision made to direct surface water run-off to a permeable or porous area or surface within the application site before the development hereby permitted is first occupied or brought into use.

Reason: To reduce surface water run-off and to reduce pressure on the surrounding drainage system in accordance with the following Development Plan policies for Merton: policy 5.13 of the London Plan 2016, policy CS16 of Merton's Core Planning Strategy 2011 and policy DMF2 of Merton's Sites and Policies Plan 2014.

19. Before the development hereby permitted is first occupied, the windows within the southern (side) elevation at first floor level shall be glazed with obscure glass, fixed shut, and shall permanently maintained as such thereafter.

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policies D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

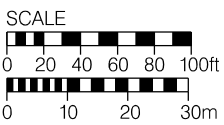
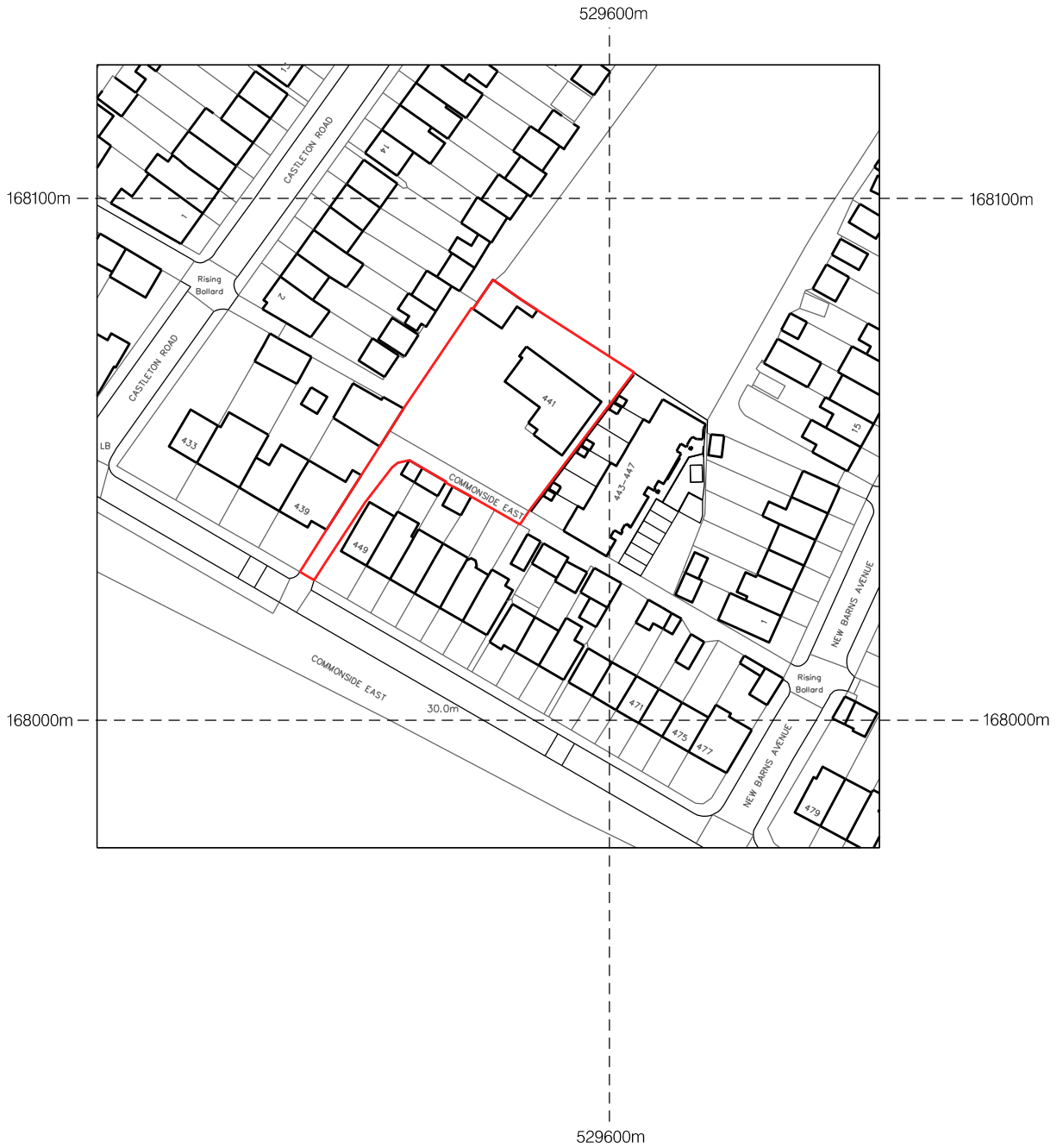
20. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no extension, enlargement or other alteration of the dwellings hereby approved other than that expressly authorised by this permission shall be carried out without planning permission first obtained from the Local Planning Authority.


Reason: The Local Planning Authority considers that further development could cause detriment to the amenities of the occupiers of nearby properties or to the character of the area and for this reason would wish to control any future Development plan policies for Merton: policy D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

NORTHGATE SE GIS Print Template



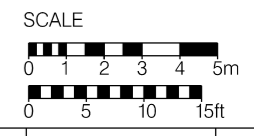
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NORTH



REV.	DESCRIPTION	DATE

PROJECT
**441 COMMONSIDE EAST,
 MITCHAM,
 CR4 1HJ**

DRAWING TITLE
EXISTING SITE PLAN

SCALE 1 : 200 @ A3 DATE SEPTEMBER 2020

DRAWING NO. 3402 / P / 01

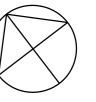
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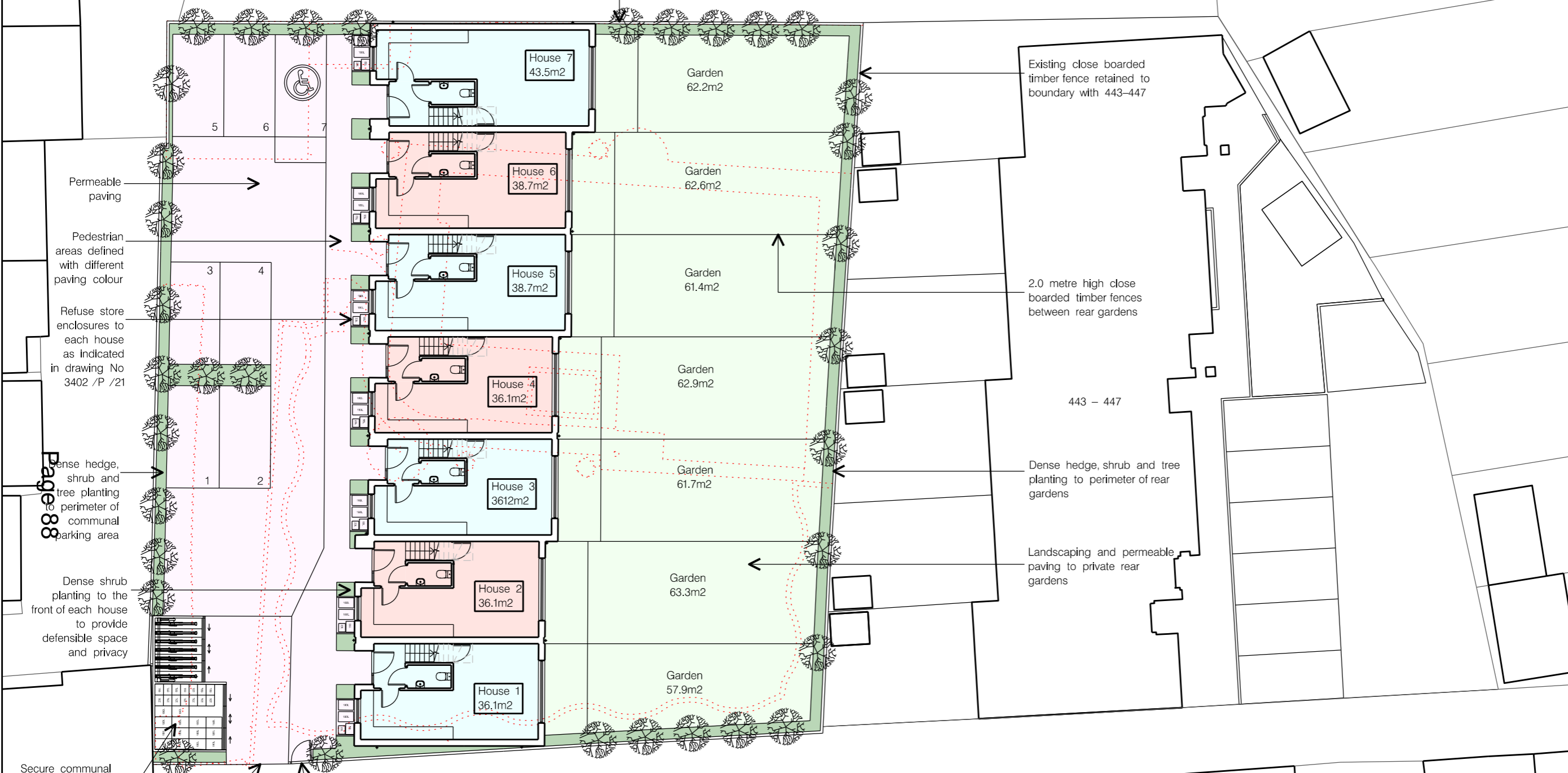
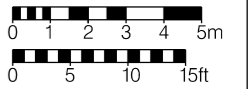
ARCHITECTS DESIGNERS PLANNERS

2.0 metre high close boarded timber fences to North, West and South boundaries



NORTH

SCALE



Permeable paving

Pedestrian areas defined with different paving colour

Refuse store enclosures to each house as indicated in drawing No 3402 /P /21

Sense hedge, shrub and tree planting to perimeter of communal parking area

Dense shrub planting to the front of each house to provide defensible space and privacy

Secure communal cycle store and refuse store as indicated on drawing No 3402 /P /21

Remotely automatically operated sliding 2.0 metre high metalrailing gate to vehicle entrance

Secure hinged 2.0 metre high metalrailing gate to pedestrian entrance

Existing close boarded timber fence retained to boundary with 443-447

2.0 metre high close boarded timber fences between rear gardens

Dense hedge, shrub and tree planting to perimeter of rear gardens

Landscaping and permeable paving to private rear gardens

COMMONSIDE EAST

REV.	DESCRIPTION	DATE
A	REVISED FOLLOWING PRE-APPLICATION ADVICE	15-03-2020

PROJECT
441 COMMONSIDE EAST,
MITCHAM,
CR4 1HJ

DRAWING TITLE
PROPOSED SITE PLAN

SCALE 1 : 200 @ A3 DATE SEPTEMBER 2020

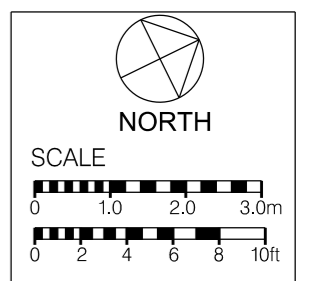
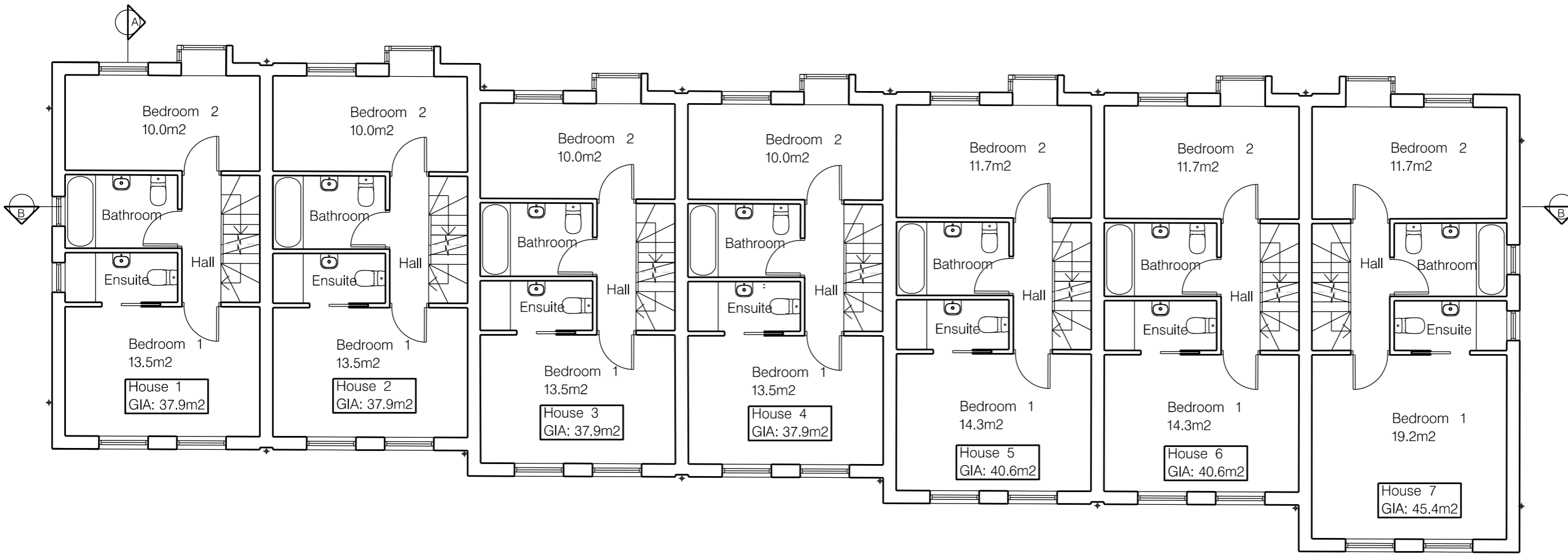
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LONDON SE1 1LL

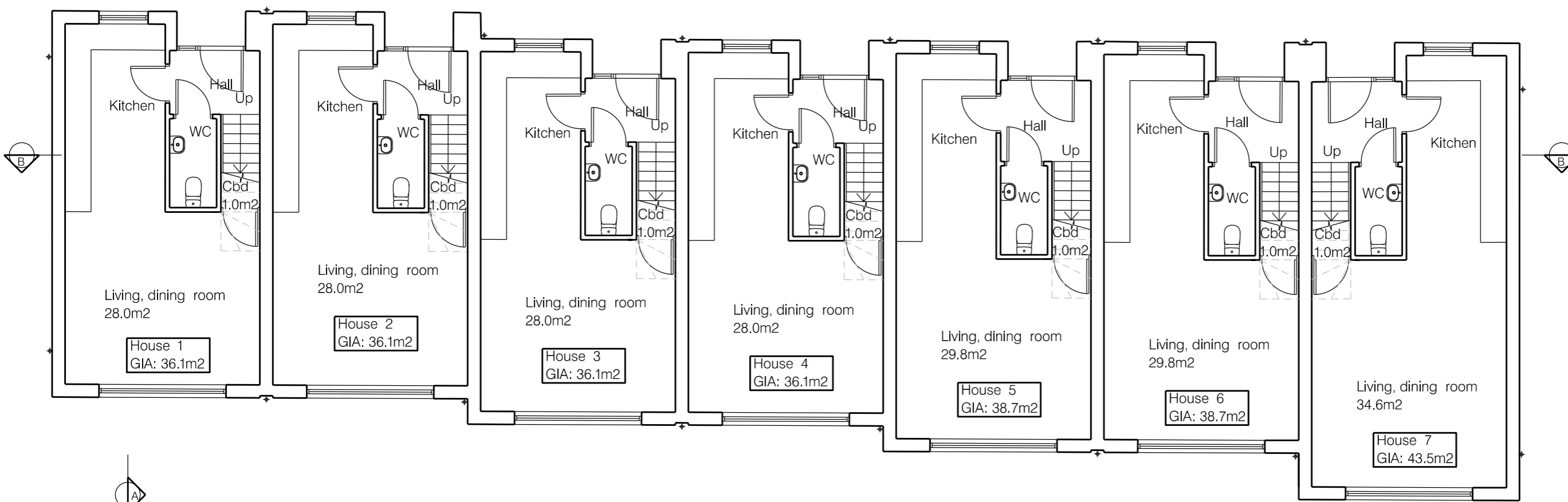
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Page 88



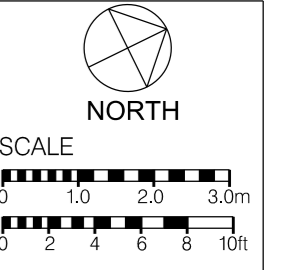
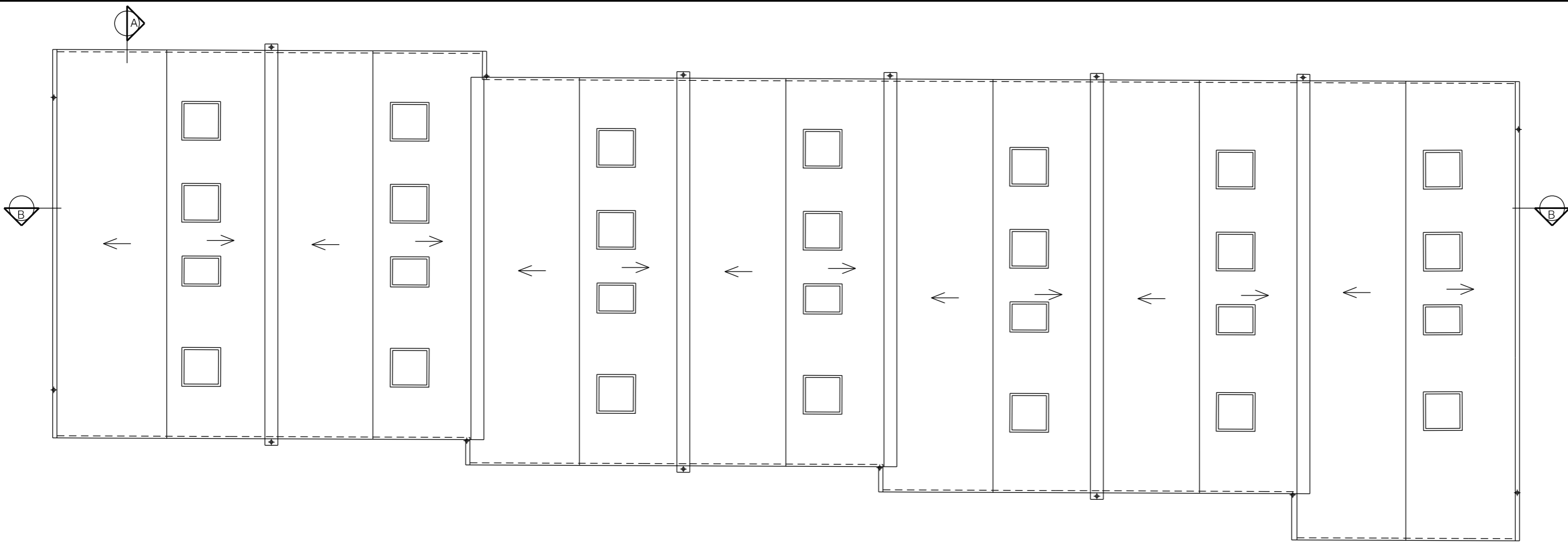
Page 89
First Floor



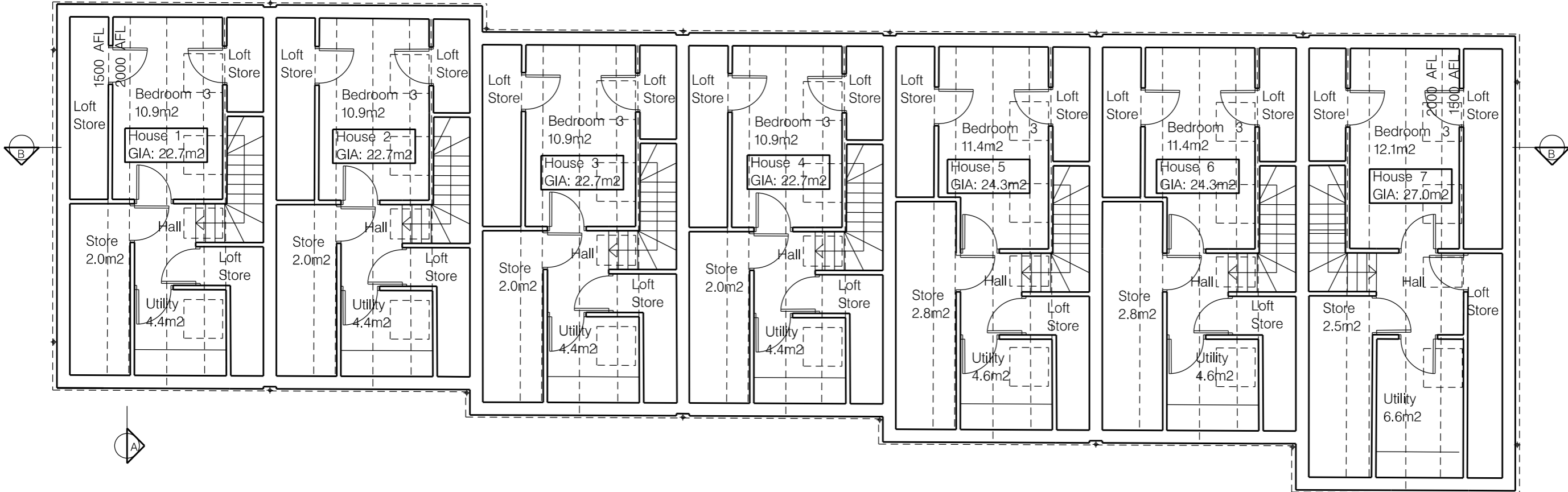
Ground Floor

REV.	DESCRIPTION	DATE
A	REVISED FOLLOWING PRE-APPLICATION ADVICE	25-03-2020

PROJECT
 441 COMMONSIDE EAST,
 MITCHAM,
 CR4 1HJ
 DRAWING TITLE
 PROPOSED GROUND FLOOR
 AND FIRST FLOOR PLANS
 SCALE 1:100 @ A3 DATE SEPTEMBER 2020
 DRAWING NO. 3402 / P / 12 REV. A
 50 BOROUGH HIGH STREET
 LONDON SE1 1LL
 PRUN
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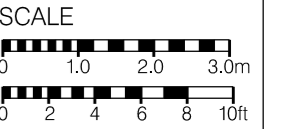


Page 90



Second Floor

<p>PROJECT 441 COMMONSIDE EAST, MITCHAM, CR4 1HJ</p> <p>DRAWING TITLE PROPOSED SECOND FLOOR AND ROOF PLANS</p> <p>SCALE 1:100 @ A3 DATE SEPTEMBER 2020</p> <p>DRAWING NO. 3402 / P / 13 REV: B</p> <p>50 BOROUGH HIGH STREET LONDON SE1 1LL</p> <p>ARCHITECTS DESIGNERS PLANNERS</p>		<p>REV. DESCRIPTION DATE</p> <p>1. ROOMS 6 TO HOUSES 5 AND 6 REBUILT REMOVED FOLLOWING PRE-APPROVAL ADVICE 20/11/2019</p>
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441 COMMONSIDE EAST, House 7 | 441 COMMONSIDE EAST, House 6 | 441 COMMONSIDE EAST, House 5 | 441 COMMONSIDE EAST, House 4 | 441 COMMONSIDE EAST, House 3 | 441 COMMONSIDE EAST, House 2 | 441 COMMONSIDE EAST, House 1

West Elevation (Front)

Second Floor
First Floor
Ground Floor
COMMONSIDE EAST



441 COMMONSIDE EAST, House 1 | 441 COMMONSIDE EAST, House 2 | 441 COMMONSIDE EAST, House 3 | 441 COMMONSIDE EAST, House 4 | 441 COMMONSIDE EAST, House 5 | 441 COMMONSIDE EAST, House 6 | 441 COMMONSIDE EAST, House 7 | POLLARDS HILL

East Elevation (Rear)

REV.	DESCRIPTION	DATE
A	REVISED FOLLOWING PRE-APPLICATION ADVICE	15-03-2019

PROJECT
441 COMMONSIDE EAST,
MITCHAM,
CR4 1HJ

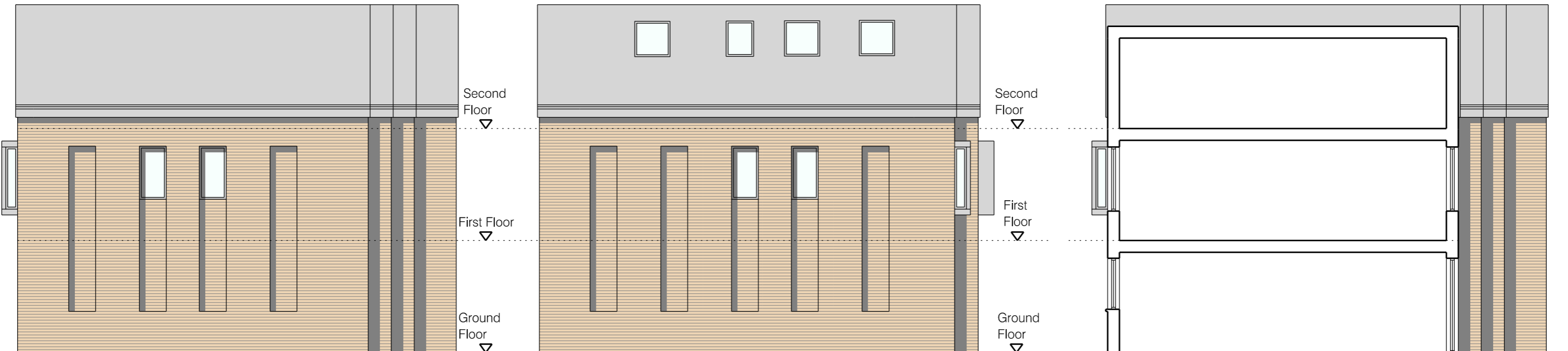
DRAWING TITLE
PROPOSED ELEVATIONS

SCALE 1:100 @ A3 DATE SEPTEMBER 2020

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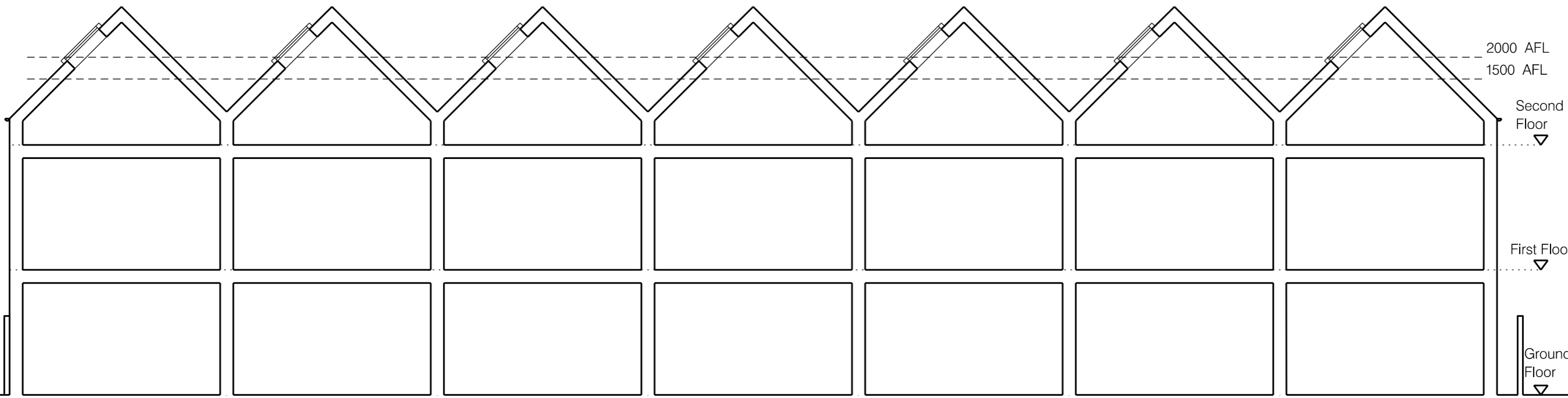
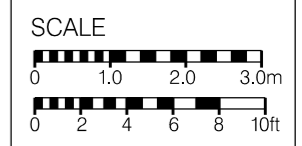


South Elevation

North Elevation

Section A-A

Page 92



2000 AFL
1500 AFL

Second Floor

First Floor

Ground Floor

REV.	DESCRIPTION	DATE
A	REVISED FOLLOWING PRE-APPLICATION ADVICE	15-03-2020

PROJECT
441 COMMONSIDE EAST,
MITCHAM,
CR4 1HJ

DRAWING TITLE
PROPOSED ELEVATIONS AND
SECTIONS

SCALE 1:100 @ A3 DATE SEPTEMBER 2020

DRAWING NO. 3402 / P / 15 REV. A

By giving to the Council of Free Schools, my copies to part of any and to all the material herein, I hereby acknowledge that I am not to be held responsible for any errors or omissions in this drawing to be used in connection with the project. The drawing is to be used in connection with the project.

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POLLARD & HILL 441 COMMONSIDE EAST, House 7 441 COMMONSIDE EAST, House 6 441 COMMONSIDE EAST, House 5 441 COMMONSIDE EAST, House 4 441 COMMONSIDE EAST, House 3 441 COMMONSIDE EAST, House 2 441 COMMONSIDE EAST, House 1

Section B-B

COMMONSIDE EAST



Page 93

**441 COMMONSIDE EAST, MITCHAM, CR4 1HJ
PROPOSED CGI VIEW OF FRONT FROM SOUTH-WEST**

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PLANNING APPLICATIONS COMMITTEE
9th December 2021

Item No:

UPRN

APPLICATION NO.

DATE VALID

21/P1519

26/05/2021

Address/Site:

84 Edge Hill, Wimbledon, SW19 4NS

(Ward)

Hillside

Proposal:

Installation of a new 3G synthetic playing surface on existing grass playing field, including 5m perimeter fence, gates, drainage, landscaping and 6 x retractable floodlighting columns

Drawing Nos:

2930 010, 100, 150, 300, 400, 502, 503 & SUDS Drainage System Proposals (Rev A) dated October 2021

Contact Officer:

David Gardener (0208 545 3115)

RECOMMENDATION

GRANT Planning Permission, Subject to no objection from Thames Water and Conditions

CHECKLIST INFORMATION

- Heads of agreement: None
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Press notice: Yes
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 79
- External consultations: None

1. INTRODUCTION

- 1.1 The application has been brought before the Planning Applications Committee due to the nature and number of objections received.

2. SITE AND SURROUNDINGS

- 2.1 The application site comprises Wimbledon College, which is located on the east side of Edge Hill, Wimbledon. The main college building, as well as the Cottage and Cartshed, which flank the Edge Hill Road entrance are Grade II listed. The application itself relates to the sports field, which is located in the southeast part of the site.
- 2.2 The surrounding area is predominantly residential, with Sacred Heart Church, located to the southeast of the site being Grade II* Listed. The site is also bounded by Thackery Close to the southeast, Hillside and Berkeley Place to the northeast, and Ridgway Gardens to the north.
- 2.3 The site is located within the Merton (Wimbledon West) Conservation Area. The site is also in an identified area of open space.
- 2.4 The site has excellent public transport accessibility (PTAL 1b/2) and is also located in a controlled parking zone (zone W6).

3. CURRENT PROPOSAL

- 3.1 The application is for installation of a new 3G synthetic sports playing surface. The new synthetic area, which is suitable for playing football and rugby on, will measure 81m by 61m. The 3G turf system consists of synthetic turf filled with sand and SBR rubber. The proposed surface will replace the existing natural grass surface.
- 3.2 The new playing surface will be enclosed by a 5.0m high perimeter fence with gate access. All fencing including gates shall be coloured green to RAL6005. 6 x retractable floodlights, are also proposed measuring 15m height when fully extended. The floodlights would be fitted with LED lights.
- 3.3 It is proposed to use the playing surface between 07:30 and 21:00 Monday to Friday, 09:00 and 18:00 on Saturday, and 09:00 and 13:00 on Sunday and Bank holidays.

4. PLANNING HISTORY

There are a number of applications that relate to this application site, and the following are relevant:

- 4.1 98/P0701 - Formation of green artificial hard play area (50m x 35m) on part of existing playing field with 3m high chain link fencing around perimeter. Withdrawn.
- 4.2 00/P0155 - Demolition of existing gymnasium. Erection of new buildings (either side of the existing swimming pool building) to provide a new gymnasium with associated changing/spectator facilities, a library and 6 additional classrooms. Granted - 01/11/2000
- 4.3 08/P0268 - Formation of new entrance and alteration to existing access route. Removal of existing entrance gate and installation of new automatic gates and

pillars with bollard lighting, new wired fencing and landscaping works. Refused - 30/04/2008

- 4.4 08/P0269 Conservation Area Consent for demolition of existing entrance gates in connection with the formation of new entrance and alteration to existing access route. Installation of new automatic gate and pillars with bollard lighting, new wired fencing and landscaping works. Refused - 30/04/2008
- 4.5 19/P3294 - Erection of additional 2.4m high vertical bar perimeter fencing behind existing boundary fence. Granted - 03/12/2019
- 4.6 19/P3852 - Listed building consent for the erection of additional 2.4m high vertical bar perimeter fencing behind existing boundary fence. Granted - 02/01/2020
- 4.7 21/P1518 - Listed Building Consent for a new 3G surface on existing grass playing field, including drainage, landscaping and floodlighting. Registered.

5. POLICY CONTEXT

- 5.1 Adopted Merton Sites and Policies Plan and Policies Maps (July 2014): DM C1 (Community Facilities), DM D1 (Urban design and the public realm), DM D2 (Design considerations in all developments), DM D3 (Alterations and extensions to existing buildings), DM D4 (Managing Heritage Assets), DM EP2 (Reducing and mitigating noise), DM F1 (Support for flood risk management), DM F2 (Sustainable urban drainage systems SuDS, wastewater and water infrastructure), DM O1 (Open Space), DM O2 (Nature Conservation, Trees, hedges and landscape features), DM T1 (Support for sustainable transport and active travel), DM T2 (Transport impacts of development), DM T3 (Car parking and servicing standards)
- 5.2 Adopted Core Strategy (July 2011): CS.11 (Infrastructure), CS.13 (Open space, nature conservation, leisure and culture), CS.14 (Design), CS.15 (Climate Change), CS.18 (Active Transport), CS.19 (Public Transport), CS.20 (Parking, Servicing and Delivery)
- 5.3 The relevant policies in the London Plan (March 2021) are: GG6 (Increasing efficiency and resilience), D2 (Infrastructure requirements for sustainable densities), D3 (Optimising site capacity through the design-led approach), D4 (Delivering good design), D5 (Inclusive design), D14 (Noise), G1 (Green Infrastructure), G4 (Open Space), G7 (Trees and Woodland), HC1 (Heritage Conservation and Growth), S5 (Sports and Recreation Facilities), SI 5 (Water infrastructure), SI 12 (Flood Risk Management), SI 13 (Sustainable drainage), T4 (Assessing and mitigating transport impacts), T7 (Deliveries, servicing and construction)
- 5.6 National Planning Policy Framework 2019

6. CONSULTATION

6.1 The application was originally publicised by means of a site and press notice and individual letters to occupiers of neighbouring properties. In response, 15 letters of objection were received including letters from the St John's Area Residents' Association, and the Wimbledon Society. The letters of objection were on the following grounds:

- Impact on surface and ground water flows
- The proposed use is too intensive for a residential area/commercial use
- Light pollution from floodlights
- Noise
- Traffic and parking impact
- Heat pollution from synthetic pitch material/contradicts net zero aims
- Hours of use is excessive
- Environmental impact including impact on wildlife, litter, loss of natural grass amenity space
- Inadequate and incomplete application
- Proposed facilities could be better accommodated at Coombe Lane site
- Poor precedent
- Financial viability is questionable
- No provision of toilet or changing facilities
- Unacceptable visual impact of floodlights on surrounding area
- Lack of consultation
- Unacceptable impact on Listed buildings, including Sacred heart Church
- Does not preserve or enhance the character and appearance of the conservation area

6.2 St John's Area Residents' Association

The proposal does not preserve or enhance the character and appearance of the conservation area, would have a detrimental impact on Sacred Heart Church, biodiversity, would be visually intrusive, increase noise and traffic pollution, and general disturbance. Concerns are also raised regarding lack of consultation, surface and ground water flooding, and the impact on local wildlife, including the inadequacy of the ecology report submitted with the application.

6.3 The Wimbledon Society

Objects to the proposal due to impact of synthetic surface on local wildlife, biodiversity and carbon emissions. Also concerns raised regarding how the surface would be disposed of at the end of its life and lack of changing facilities/toilets.

6.4 Future Merton – Flood Risk Officer

6.5 The Flood engineer has reviewed the revised and updated report and note that the drainage scheme has substantially changed from the previous scheme, which is supported. No objections are raised to the proposed scheme and a condition requiring details of the final construction detail of the proposed surface water drainage scheme is submitted to and approved in writing by the local

planning authority. The details shall also include confirmation of the repair of the existing defects identified within the existing surface water line for connection.

6.6 Environmental Health Officer

6.7 No objections subject to appropriate conditions.

6.8 Conservation Officer

6.9 No objection to the proposed development.

6.13 Thames Water

6.14 No comments received

7. PLANNING CONSIDERATIONS

7.1 Principle of Development

7.2 Planning policy is generally supportive of development, which seeks to enhance sports facilities. Policy S5 of the London Plan 2021 seeks to ensure that there is sufficient supply of good quality sports and recreation facilities, and states that development proposals for sports and recreation facilities should increase or enhance the provision of facilities in accessible locations, well-connected to public transport and link to networks for walking and cycling. Development proposal should also support the provision of sports lighting within reasonable hours, where there is an identified need for sports facilities, and lighting is required to increase their potential usage, unless the lighting gives rise to demonstrable harm to the local community or biodiversity. Policy CS.13 of the Core Planning Strategy 2011 seeks to safeguard existing play facilities and provide enhanced facilities along with formal and informal play spaces where these are needed.

7.3 It is considered that the proposal complies with policy S5 of the London Plan and CS.13 of the Core Planning Strategy, given it would provide an enhanced playing surface, which would be available for year round usage. The proposed playing surface will also feature floodlights, which will provide suitable lighting for evening/nightly use. The floodlights will be directed towards the centre of the pitch limiting light spillage or glare beyond the site boundary. The floodlights are also retractable and conditions will be attached limiting hours of use to reduce their impact on surrounding residential properties. Although the site has a PTAL 1b/2 rating, which suggests it has poor public transport accessibility, it should be noted that the entrance to the site is located just over 400m from Worple Road, and approx. 170m from Copse Hill, which are well served by public transport, which given the nature of the use is not considered an excessive distance in this instance.

7.3 Design/visual Impact and Impact on Setting of Listed Buildings

- 7.4 Policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that proposals for development will be required to relate positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings, whilst using appropriate architectural forms, language, detailing and materials which complement and enhance the character of the wider setting. Policy DM D4 states that all development proposals associated with the borough's heritage assets or their setting will be expected to conserve and where appropriate enhance the significance of the asset in terms of its individual architectural or historic interest and its setting. Policy DM O1 states that development in proximity to and likely to be conspicuous from designated open land will only be acceptable if the visual amenities of the open space will not be harmed by reason of siting, materials or design.
- 7.5 The application site is located in the Merton (Wimbledon West) Conservation Area. Within the site itself, the main college building, as well as the Cottage and Cartshed, which flank the Edge Hill Road entrance are Grade II listed, whilst Sacred Heart Church, which is located to the south of the site is Grade II* Listed.
- 7.6 The application itself relates to the sports playing surface, which is located in the southeast part of the site. It is considered that given the nature of the development coupled with the location, and surrounding context, of the site, that the proposal would have a limited impact on the setting of the Listed Buildings. There are modern buildings (Sacred Heart Church Hall), located between the proposed sports pitch and the Grade II* Listed Sacred Heart Church beyond the site boundary, and between the proposed pitch and the Grade II listed main college building within the site itself. This creates enough visual separation to limit any impact of the proposal given the low physical profile of the development, which apart from the proposed surface comprises a 5m high perimeter fence and floodlights. The listed buildings within the school site are also enclosed by a number of other modern buildings further limiting any impact. The proposed development has also been designed to limit its impact, with the perimeter fence coloured green to help blend it in with the surrounding open space. It is noted that the proposed retractable floodlights, would be very noticeable in its surroundings when fully extended, however, it is considered that the impact would be acceptable given the very limited hours these would be in use. A condition will be attached requiring they are retracted to no more than 5m in height when not in use.
- 7.6 Overall, it is considered that the proposal would result in a high quality development, which does not harm the setting of the nearby listed buildings, whilst also preserving the character and appearance of the Merton (Wimbledon West) Conservation Area, and visual amenity of the open space, and as such complies with all the relevant design and open space planning policies.

7.7 Residential Amenity

- 7.8 Policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that proposals for development will be required to ensure provision of appropriate levels of sunlight and daylight, quality of living

conditions, amenity space and privacy, to both proposed and adjoining buildings and gardens. Development should also protect new and existing development from visual intrusion.

- 7.9 The surrounding area is predominantly residential, with the site bounded by Thackeray Close to the southeast, Hillside and Berkeley Place to the northeast, and Ridgway Gardens to the north. Residential properties located along Edge Hill are located to the west of the site, whilst Sacred Heart Church, is located to the southeast.
- 7.10 It is considered that given the proposal is located in the southeast part of the school site that it would have a limited impact on properties located along Hillside, Berkeley Place, and Ridgway Gardens, given these properties would be located a substantial distance away (for example the closest property would be No.21 Hillside, which would be located approx. 50m from the perimeter fence of the proposed surface), and the existing school buildings would offer significant screening. It is also considered that there would be a limited impact on properties located along Edge Hill, with the closest properties located a minimum of 45m from the proposed playing surface, and trees located along the Edge Hill boundary also offering good screening. Given the screening provided by the school buildings and trees to these surrounding properties, it is likely that only the top of the floodlights would be visible, which given their distance and the limited time period, which they would be in operation is considered acceptable.
- 7.11 It is considered that residential properties along Thackeray Close, which bounds the site's southeast corner would likely be most impacted by the proposal. The site boundary of the closest property, No.14, which is a block of three residential units is located approx. 24m from the proposed sports surface, with the rear elevation located approx. 35m away, which means the impact on occupiers of this building, and other properties along Thackeray Close, which are located further away, should still be limited. It should be noted that there is an existing sports pitch in the same location, and the proposed sports pitch would be a similar size, so the noise generated during the day will be similar to existing. It is accepted that there will be increased use during evenings due to the incorporation of floodlights, however it is considered that this will have an acceptable impact given the hours of use will be limited to no later than 9pm Monday to Friday, 6pm Saturday, and 1pm on Sundays and Bank Holidays. The floodlights have also been designed to minimise any light spill, and a condition will be attached requiring they are turned off and retracted when the sports surface is not in use, which means they would only be extended for a very limited time period.
- 7.12 Notwithstanding the considerations in the previous paragraph, it should be noted that the school also intends to commercially hire out the proposed playing pitch, which means there would also be an intensification of the use. The Council's Environmental Health Officer have assessed the proposal, and consider it acceptable, subject to conditions, however, given this commercial element, have requested a condition is attached requiring a noise impact

assessment is submitted and approved by the Local Planning Authority prior to first use.

- 7.13 Overall, it is considered that the proposal would not have a materially harmful impact on the levels of amenity currently enjoyed by occupiers of surrounding properties and would accord with policies DM D2 and DM D3 Adopted Merton Sites and Policies Plan and Policies Maps (July 2014):

7.19 Parking and Traffic

- 7.20 Policy DM D2 of the Adopted Merton Sites and Policies Plan and Policies Maps (July 2014) states that planning permission will be granted for development proposals provided they do not adversely impact on the road or public transport networks, safety or congestion particularly on strategically important routes.

- 7.26 The proposed synthetic playing surface would simply replace the existing natural grass surface, so there will not be an increase in the size of sports playing surface, number of sports pitches provided, and therefore capacity. However, given the proposal will incorporate floodlighting, the playing surface will be available for use for longer periods throughout the day, particularly the evenings during winter, when daylight hours are limited. There will also be a commercial element, with the surface also available to hire, therefore increasing the intensity of its use. This is likely to be evident at weekends and during school holidays. This means there will be increased traffic movement to and from the site during these periods, however, it is considered that this would not have an adverse impact on the surrounding road network, given the limited size and capacity of the sports surface.

7.23 Flood Risk and Drainage

- 7.24 The applicant has submitted a report, which was amended following the original submission, outlining the proposed SUDS drainage for the proposed playing surface. The Council's Flood Risk Officer has reviewed the revised and updated report and note that the drainage scheme has substantially changed from the previous scheme, which is now supported. No objections are raised to the proposed scheme and a condition will be attached requiring details of the final construction detail of the proposed surface water drainage scheme is submitted to and approved in writing by the local planning authority. The details shall also include confirmation of the repair of the existing defects identified within the existing surface water line for connection. The Flood Risk Officer also advised that officers consult Thames Water on the proposal. No comments have been received from Thames Water, and thereby the recommendation would need to reflect this.

7.22 Trees

- 7.23 Policy DM O2 of the Adopted Merton Sites and Policies Plan and Policies Maps (July 2014) states that development will only be permitted if it will not damage or destroy any tree which:

- i. is protected by a tree preservation order;
- ii. is within a conservation area; or,
- iii. has significant amenity value.

7.24 The application site is located in the Merton (Wimbledon West) Conservation Area, and the proposed playing surface would not result in the loss or damage of any trees, and as such would comply with policy DM O2.

8. ENVIRONMENTAL IMPACT ASSESSMENT

8.1 The application does not constitute Schedule 1 or Schedule 2 development. Accordingly, there are no requirements in terms of EIA submission.

9. LOCAL FINANCIAL CONSIDERATIONS

9.1 The proposal would result in a net gain in gross floor space and as such will be liable to pay a Community Infrastructure Levy (CIL).

11. CONCLUSION

11.1 It is considered that the proposal would result in a high quality development, which enhances the existing sports provision of the School without harming the setting of the nearby listed buildings, and preserving the character and appearance of the Merton (Wimbledon West) Conservation Area. It is also considered that the proposal would not have an unacceptable impact on the surrounding road network, surface and ground water flows, trees or neighbour amenity, and as such complies with all the relevant planning policies. It is therefore recommended that planning permission is granted.

RECOMMENDATION

GRANT PLANNING PERMISSION subject to no objection from Thames water and the following conditions:

1. A.1 (Commencement of Development)
2. A.7 (Approved plans)
3. B.3 (External Materials as specified)
4. No music or other amplified sound generated on the premises shall be audible at the boundary of any adjacent residential building.

Reason: To protect the amenities of local residents and ensure compliance with policy DM EP2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014).

5. D.11 (Construction Times)
6. H.09 (Construction Vehicles)

7. Prior to commencement of development, detailed drawings at 1:100 scale of the proposed floodlights, shall be submitted to and approved by the local planning authority. Only the approved details shall be used in the development hereby permitted.

Reason: To ensure a satisfactory standard of development in accordance with the following Development Plan policies for Merton: Policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 and D2 of Merton's Sites and Policies Plan 2014.

8. The development hereby permitted shall only be used between the hours of 07:30 and 21:00 Monday to Friday, 09:00 and 18:00 on Saturday, and 09:00 and 13:00 on Sunday and Bank holidays, and at no other time.

Reason: To protect the amenities of local residents and ensure compliance with policy DM EP2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014).

9. D.1 (Hours of Use of Floodlighting)

10. Notwithstanding the approved drawings the floodlights shall have a maximum height of 15m during permitted hours of use and shall be retracted to a maximum height of 5m outside of permitted hours.

Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: Policy CS14 of the Core Planning Strategy 2011 and policies DM D2, DM D3 and DM D4 of Merton's Sites and Policies Plan 2014.

11. Prior to the commencement of development, the final construction detail of the proposed surface water drainage scheme shall be submitted to and approved in writing by the local planning authority. The drainage scheme shall dispose of surface water by means of a sustainable drainage system (SuDS) including attenuation with the final surface water discharge rate restricted to no more than 2.7l/s. The details shall also include confirmation of the repair of the existing defects identified within the existing surface water line for connection and this should be supported by a before and after CCTV survey.

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy 5.13.

12. Prior to any commercial use, a noise impact assessment shall be submitted to and approved by the Local Planning Authority. Any recommendations set out in the approved noise impact assessment shall be complied with permanently thereafter.

Reason: To protect the amenities of local residents and ensure compliance with policy DM EP2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014).

13. Any external lighting shall be positioned and angled to prevent light spillage or glare beyond the site boundary.

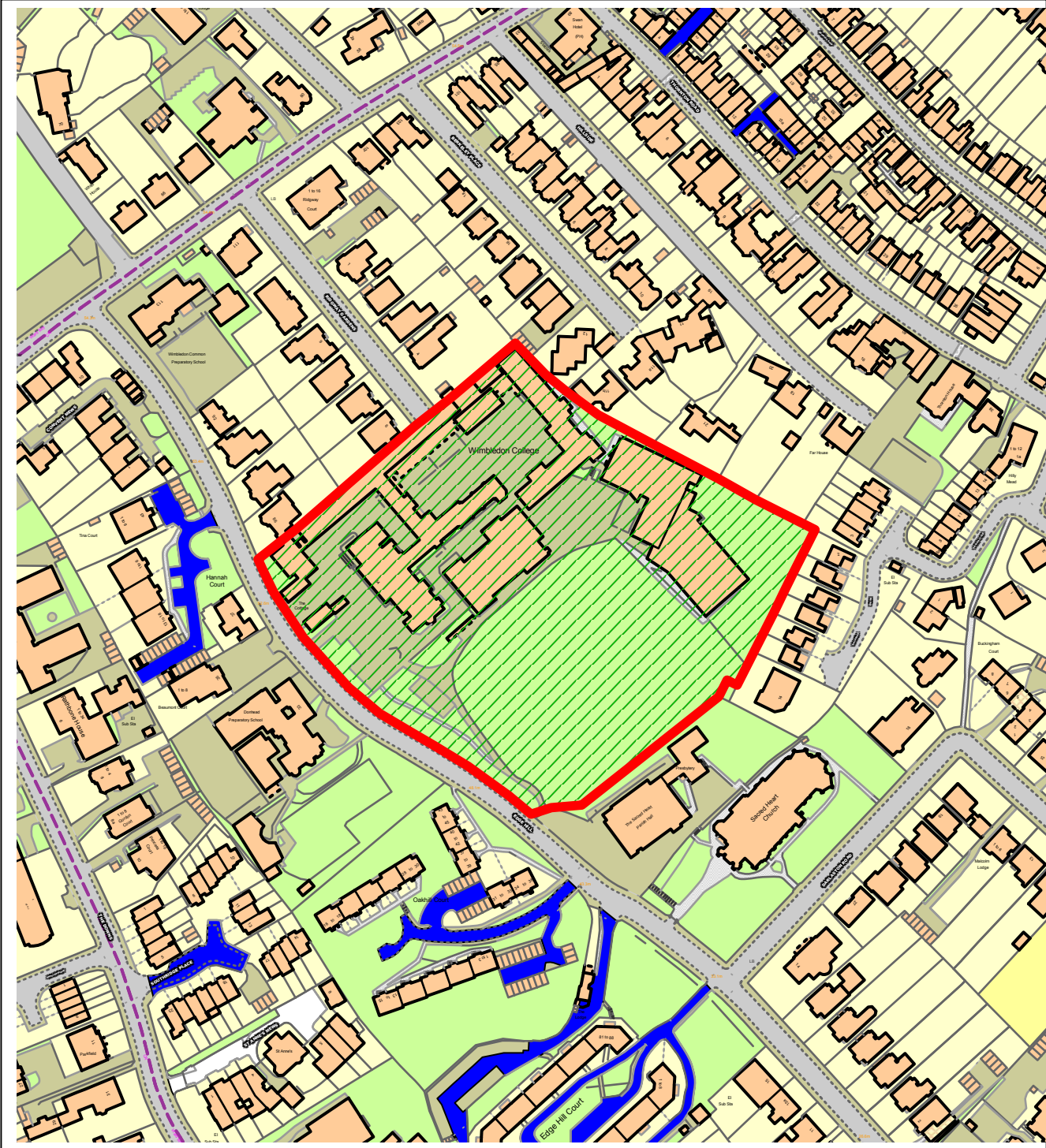
Reason: To protect the amenities of local residents and ensure compliance with policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014).

Informative - No surface water runoff should discharge onto the public highway including the public footway or highway. When it is proposed to connect to a public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777).

Informative - No waste material, including concrete, mortar, grout, plaster, fats, oils and chemicals shall be washed down on the highway or disposed of into the highway drainage system.

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NORTHGATE SE GIS Print Template



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NOTES
It is the contractors responsibility to check design levels and sizes for compliance. Any discrepancies or errors to be identified to the design team.

- KEY
- Indicative Ownership Boundary
 - Site Boundary
 - New Synthetic Pitch Area

Produced on 06 April 2021 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date.

This map shows the area bounded by 523739 170208, 523939 170208, 523939 170408, 523739 170408, 523739 170208

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Page 108

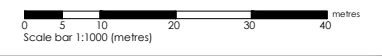
New 3G Pitch
for Football & Rugby
(80.0m x 61.0m)

Site Access
from Edge Hill

REVISION	DETAILS	BY	DATE	CHECKED

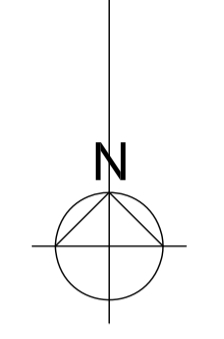
 info@sportslabsconsult.com



WIMBLEDON COLLEGE
LOCATION PLAN
NEW 3G PITCH



Date: 04/2021 Scale: 1:500 @ A3	Job No. 2930	Drawn by: FG Checked by: DD
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ALL WORKING DIMENSIONS TO BE CHECKED ON SITE.
FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
ANY DISCREPANCIES BETWEEN DRAWINGS OF DIFFERING SCALES AND BETWEEN DRAWINGS AND SPECIFICATION WHERE APPROPRIATE TO BE NOTIFIED TO SUPERVISING OFFICER FOR DECISION.
COPYRIGHT RESERVED.



KEY
PLANNING LINE 
AREA OF WORKS 

WIMBLEDON COLLEGE
EDGE HILL
WIMBLEDON
LONDON
SW19 4NS

THE GOVERNORS

SITE PLAN WITH LEVELS

RIBA 
Chartered Practice

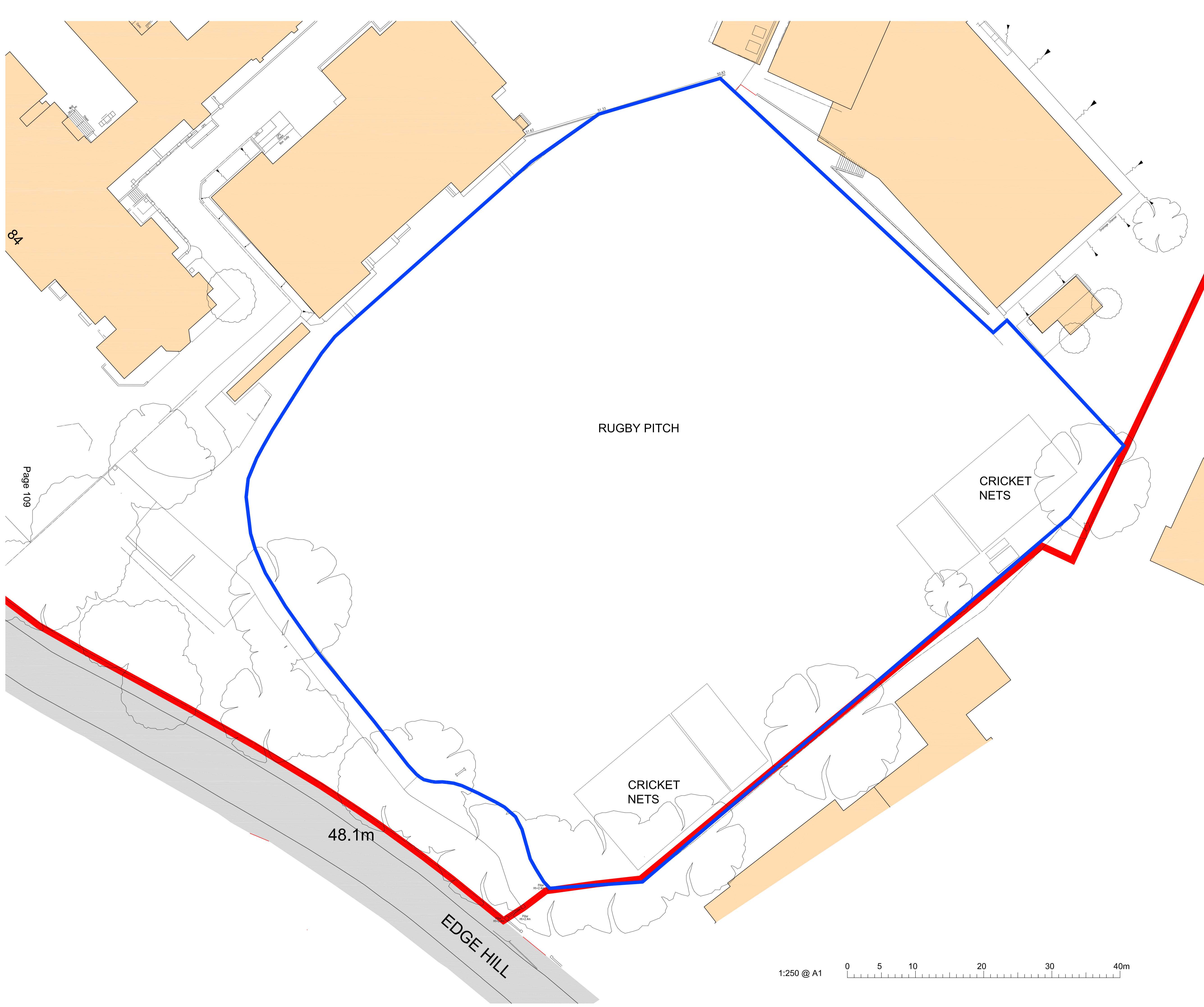
 **wilby & burnett**

Provident House, 123 Ashdon Road, Saffron Walden, Essex CB10 2AJ
T: 01799 513621 | info@wilbyburnett.co.uk | www.wilbyburnett.co.uk
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APRIL 2020 MK

1:250 @ A1

3372/3/SD2



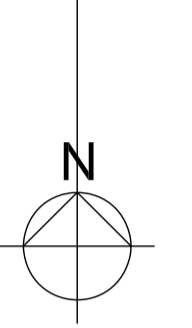
Page 109



84

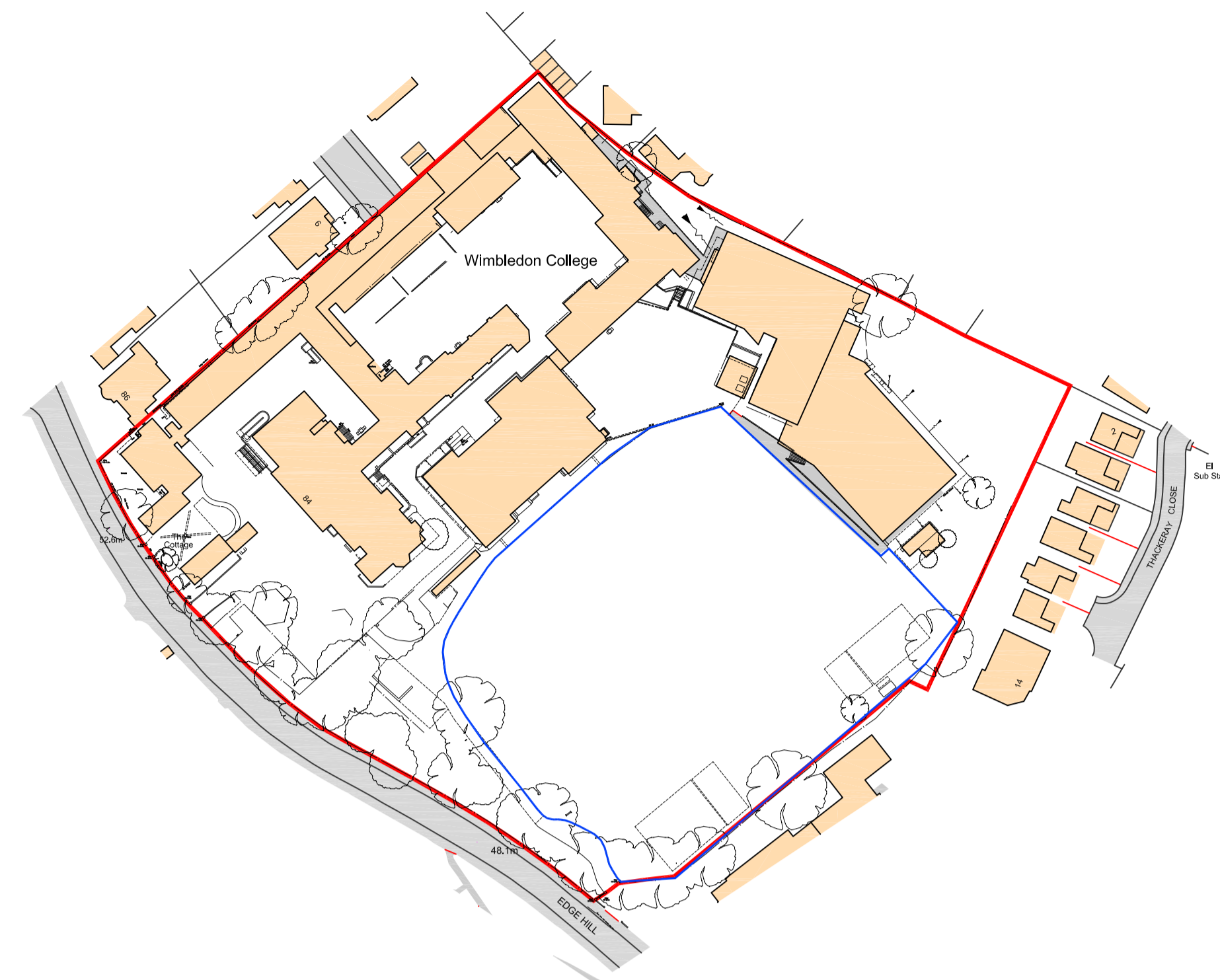
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ALL WORKING DIMENSIONS TO BE CHECKED ON SITE.
FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
ANY DISCREPANCIES BETWEEN DRAWINGS OF DIFFERING SCALES AND BETWEEN DRAWINGS AND SPECIFICATION WHERE APPROPRIATE TO BE NOTIFIED TO SUPERVISING OFFICER FOR DECISION.
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KEY
PLANNING LINE 
AREA OF WORKS 



1:1250 @ A1 0 50 100 150 200m



1:500 @ A1 0 10 20 30 40 50 60 70 80 90 100m

WIMBLEDON COLLEGE
EDGE HILL
WIMBLEDON
LONDON
SW19 4NS

THE GOVERNORS

SITE AND LOCATION PLAN

RIBA 
Chartered Practice

 **wilby & burnett**

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APRIL 2020 MK

1:500 & 1:1250 @ A1

3372/3/SD1



NOTES
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- KEY**
- Site Boundary
 - New 3G Synthetic Turf Area
 - New hard-wearing synthetic turf footway
 - Natural Grass
 - Existing Cricket Nets
 - Hardstanding
 - ◇ New Floodlighting Column
 - 5.0m high fencing
 - Double Gate Access
 - Equipment (Netting divider system at halfway to separate pitches in cross-field format)

New Synthetic Area

Length - 80.0m
Width - 61.0m
+ Recesses at 2.0m width

Total - 5,010m²

Rugby (U12/U13)

Length - 74.0m
+ Inc. In-goal lengths of - 6.0m
Width - 51.0m

(Compliant with England Rugby Age Grade Guidance for U12/U13).

Football

Youth (U11/U12) 9v9

Length - 74.0m
Width - 51.0m

Mini Soccer (U9/U10) 7v7

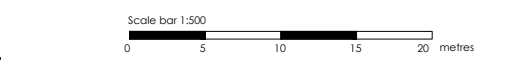
Length - 55.0m
Width - 36.0m

(Maximum achievable within available space, In-line with FA Guide to Goalpost & Pitch Dimensions).

REVISION	DETAILS	BY	DATE	CHECKED



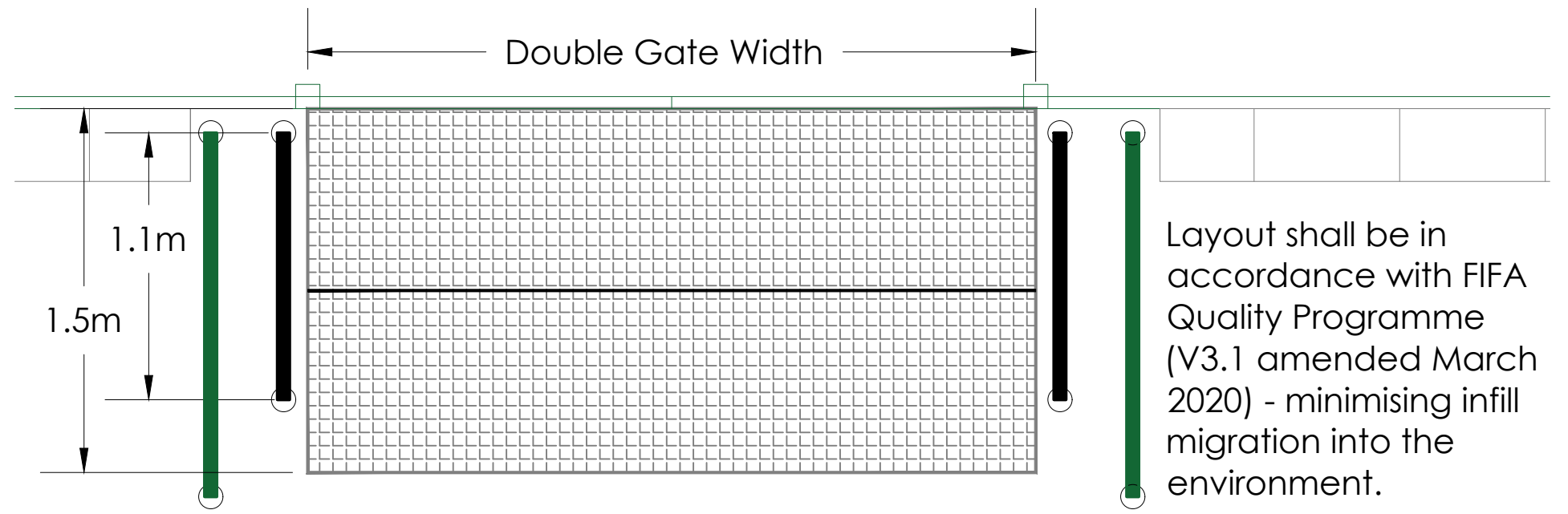
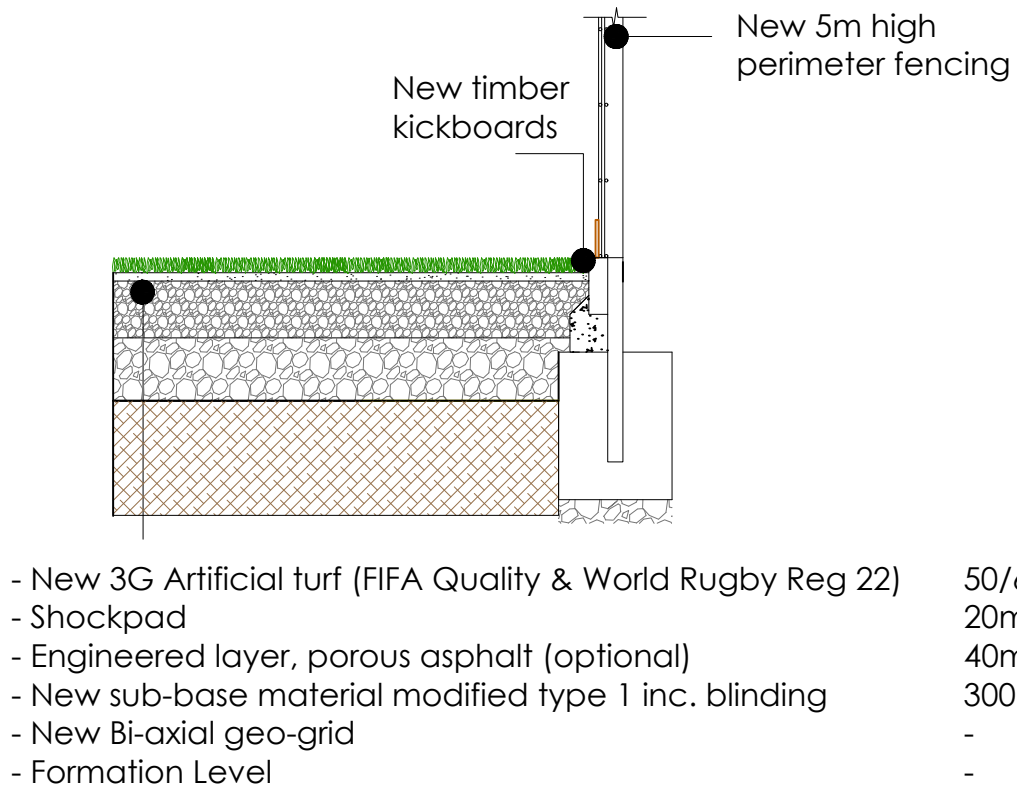
**WIMBLEDON COLLEGE
GENERAL ARRANGEMENT
NEW 3G PITCH**



Date: 04/2021 Scale: 1:500 @ A3	Job No. 2930	Drawn by: FG Checked by: DD
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NOTES
It is the contractors responsibility to check design levels and sizes for compliance. Any discrepancies or errors to be identified to the design team.



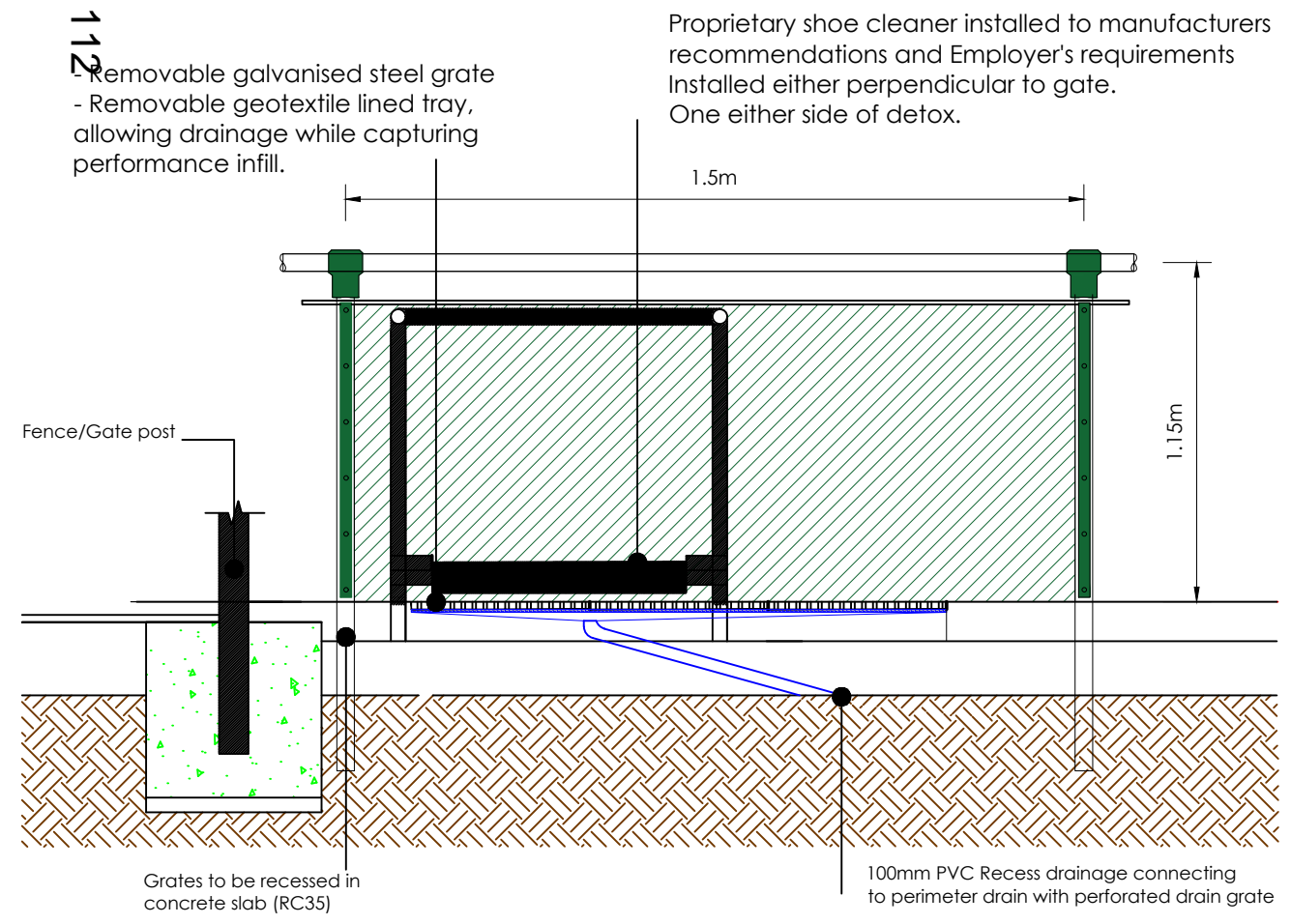
01 STANDARD 3G PITCH CONSTRUCTION

SCALE: 1:20

Page 112

02 STANDARD DETOX AREA PLAN

SCALE: 1:25



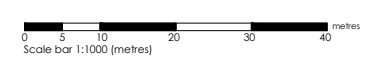
03 STANDARD DETOX AREA SECTION

SCALE: NTS

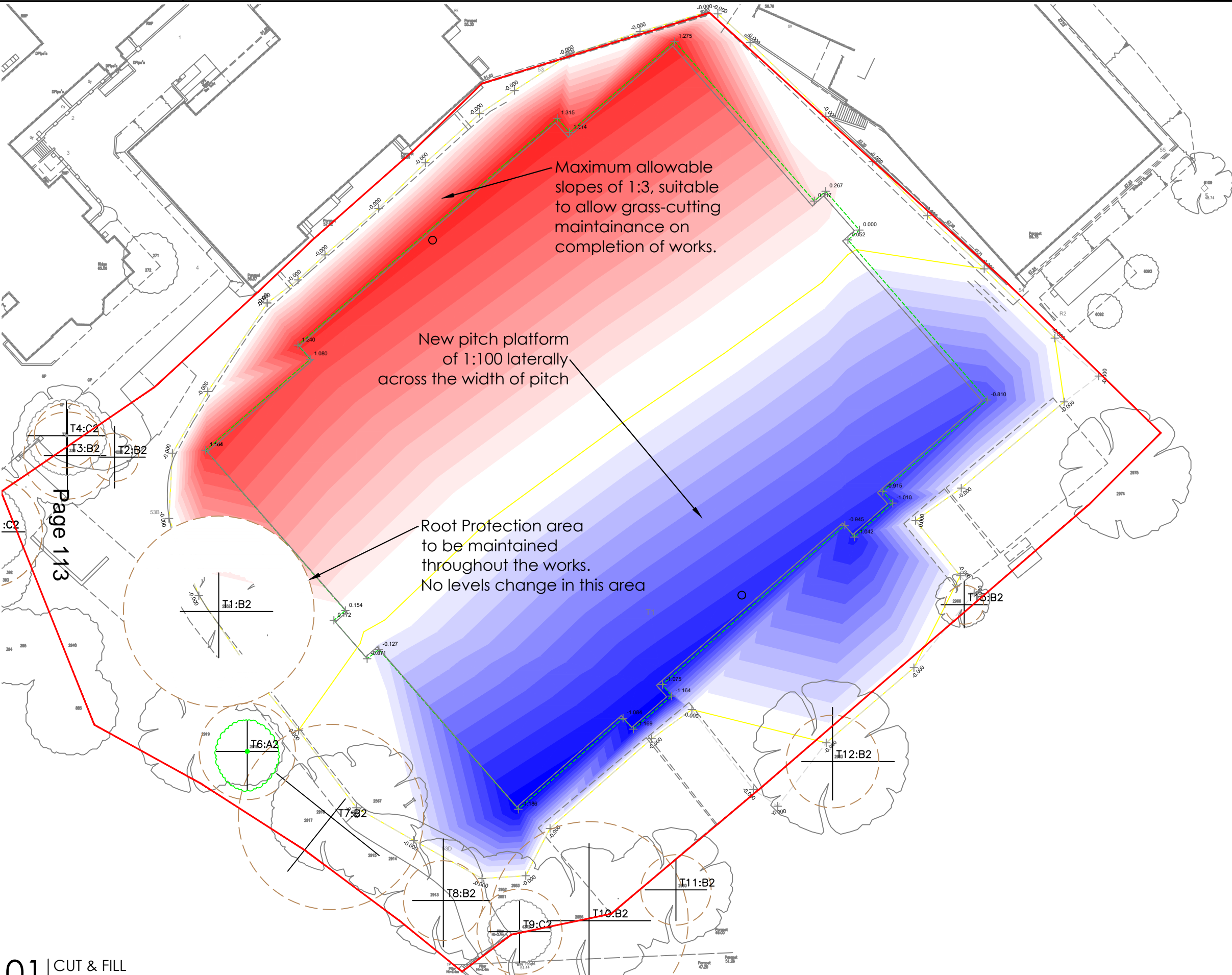
REVISION	DETAILS	BY	DATE	CHECKED



WIMBLEDON COLLEGE
CONSTRUCTION DETAILS
NEW 3G PITCH

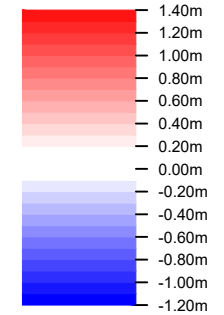


Date: 04/2021	Job. No. 2930	Drawn by: FG
Scale: Varies @ A3	Checked by: DD	



NOTES
It is the contractors responsibility to check design levels and sizes for compliance. Any discrepancies or errors to be identified to the design team.

KEY
— Site Boundary
— New Synthetic Pitch Area



Height Shading - indicating each 100mm change in level of the existing site.

RED = CUT, indicating volume of material to be removed where the Existing Site Terrain (501) is a depth above the Proposed Levels (502).

BLUE = FILL, indicating the volume of material to be added where the Existing Site Terrain (501) is a depth below the Proposed Levels (502).

Quantities assess the earthworks required to reach a level platform. The table below DOES NOT include volume of top-soil over the site area which is required to be factored in to removal and disposal of material.

Page 113

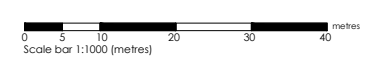
01 CUT & FILL
SCALE: 1:500

CUT & FILL REQUIRED TO GO FROM EXISTING SITE TERRAIN (501) TO PROPOSED LEVELS (502)					
Volume	Value	Area	Value	Avg Depth	Value
Cut	2910.8153	Cut	5092.7896	Cut	0.572
Fill	1140.5755	Fill	2763.1543	Fill	0.413
Balance	1770.2398	Null	0.0000		

REVISION	DETAILS	BY	DATE	CHECKED



**WIMBLEDON COLLEGE
CUT & FILL
NEW 3G PITCH**



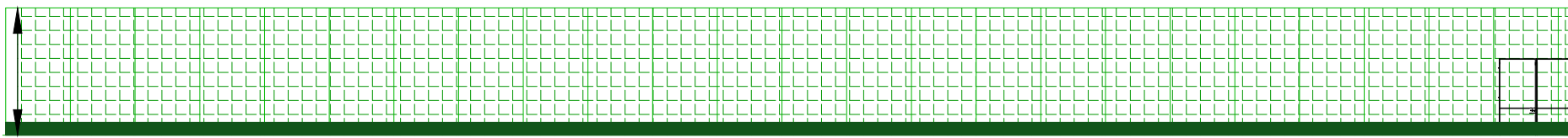
Date: 03/2021 Scale: 1:500 @ A3	Job No. 2930	Drawn by: FG Checked by: DD
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NOTES
It is the contractors responsibility to check design levels and sizes for compliance. Any discrepancies or errors to be identified to the design team.

61.0m goal-line
(5.0m high fencing)

5.0m



AA TRANSVERSE SECTION
SCALE: 1:250

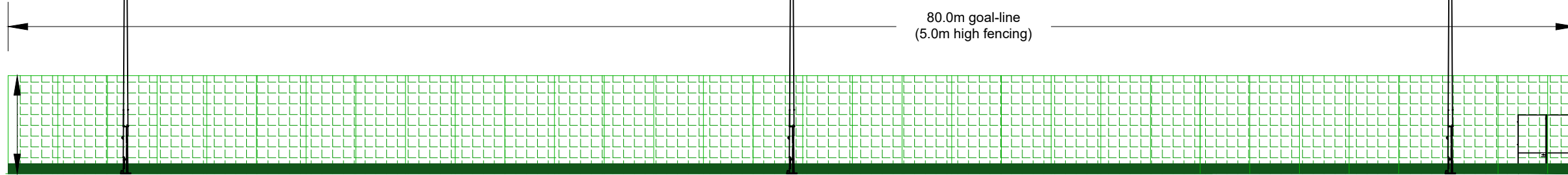
15m

15m

15m

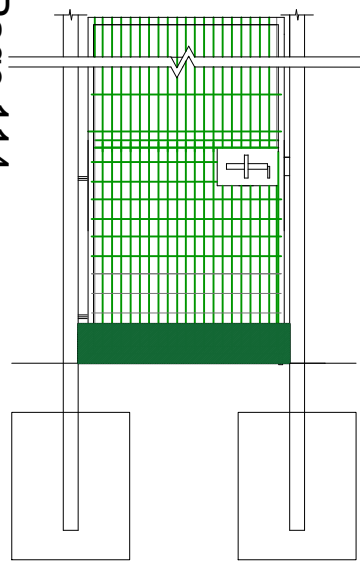
80.0m goal-line
(5.0m high fencing)

5.0m

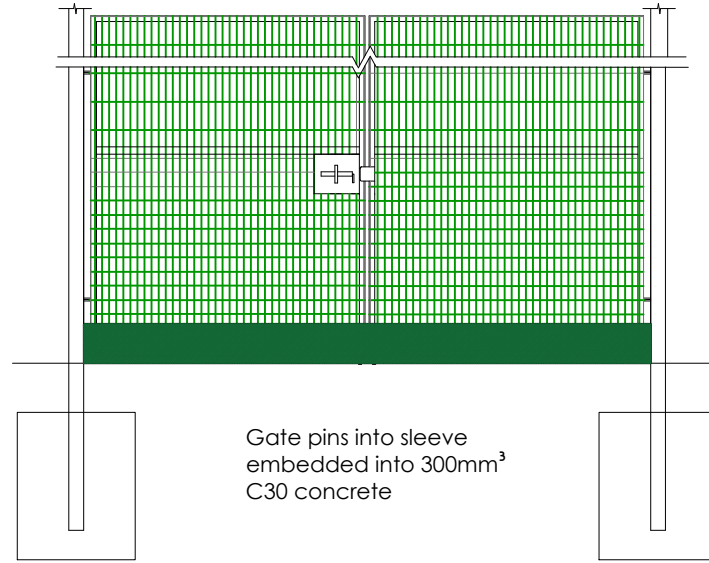


BB LONGITUDINAL SECTION
SCALE: 1:250

Page 114



Typical single gate



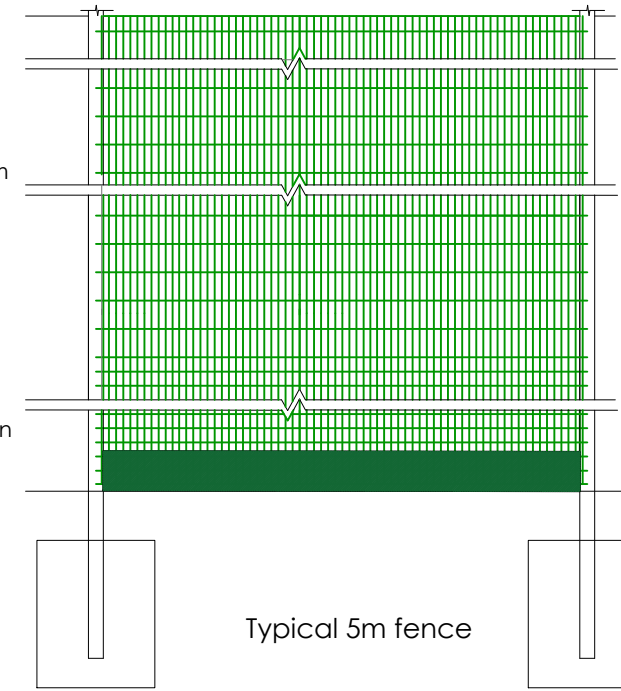
Typical double gate

Gates hinges allow for 180° opening out away from pitch. gate should facilitate being pinned opened and shut. gates 2.4m high.

Gate frames to be square hollow section
Gate posts to be square hollow section
Slide bolt with facility for padlock

Bottom panel 1.2m high 50x50mm 8/6/8 twin wire fencing. There above 200x50mm 8/6/8 twin wire.

Gate pins into sleeve embedded into 300mm³ C30 concrete



Typical 5m fence

fence posts to be rectangular hollow section

bottom panel 1.2m high 50x50mm 8/6/8 twin wire fencing.

from 1.2m to 3m 200x50mm 8/6/8 twin wire

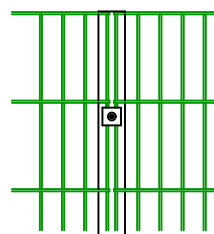
ball stop fencing panel secured to posts and frame using coated slotted clamp flats and m8 bolts and m8 anti-vandal nuts

foundations c30 concrete sizes to be confirmed based on exposed ground conditions

New kickboards 200mm high made from timber/ recycled material to be installed around the base of the new fencing for the full pitch perimeter. To aid retaining infill material within the playing area.

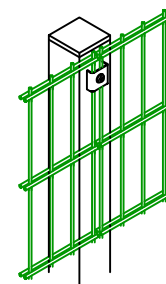
03 GATE DETAILS
ELEVATION
SCALE NTS

04 FENCE PANEL
ELEVATION
SCALE NTS

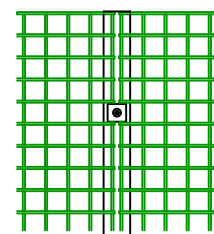


DETAIL OF PANEL

panel (200x50x6) connection detail perimeter fencing NTS

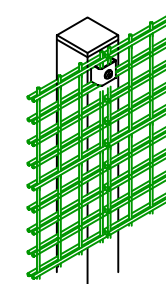


DETAIL OF PANEL TO POST FIXINGS



DETAIL OF PANEL

panel (50x50x6) connection detail perimeter fencing nts



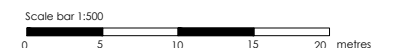
DETAIL OF PANEL TO POST FIXINGS

REVISION	DETAILS	BY	DATE	CHECKED

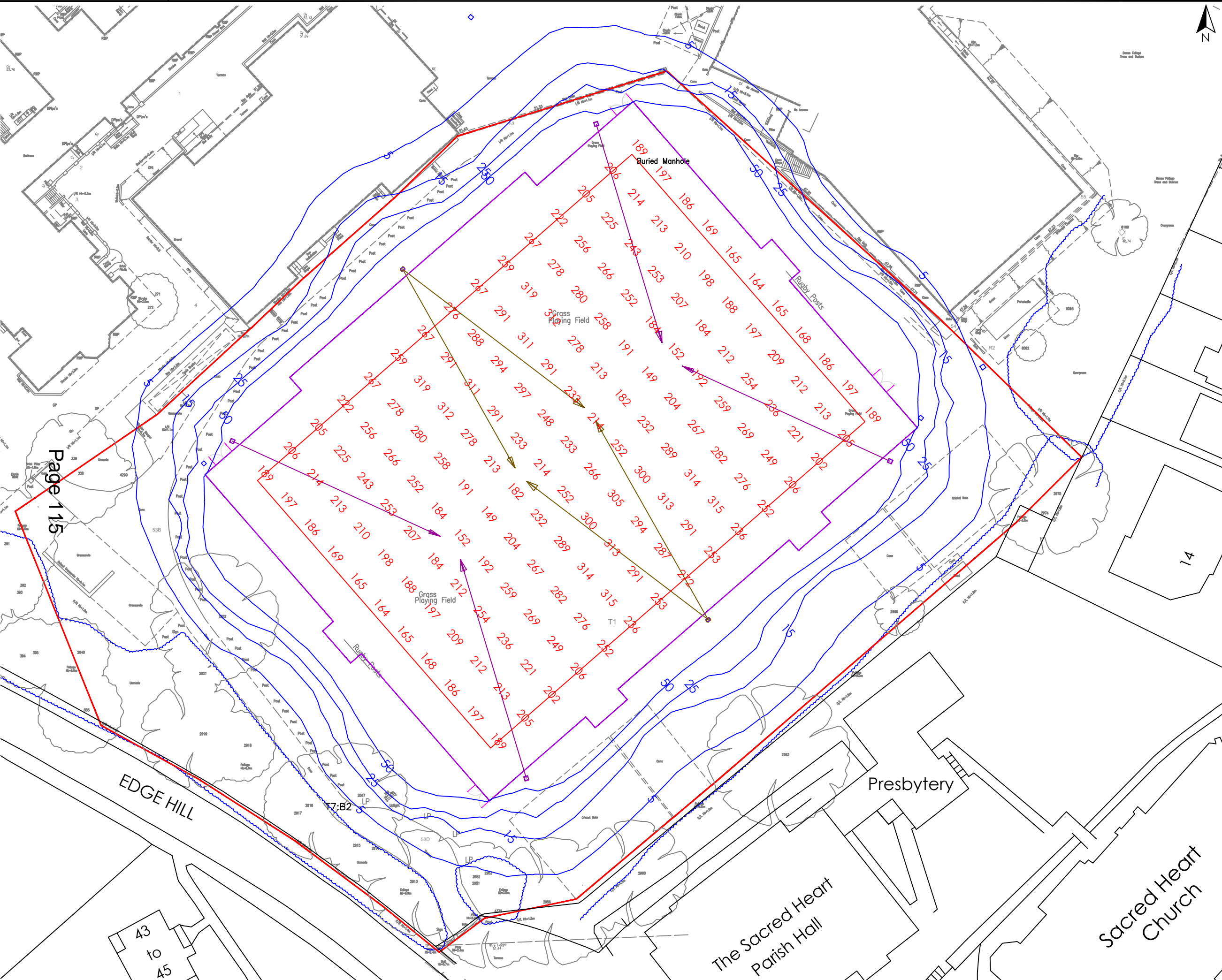


info@sportslabsconsult.com

WIMBLEDON COLLEGE
FENCING SECTIONS
NEW 3G PITCH



Date: 04/2021 Scale: Varies @ A3	Job No. 2930	Drawn by: FG Checked by: DD
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NOTES
 It is the contractors responsibility to check design levels and sizes for compliance. Any discrepancies or errors to be identified to the design team.

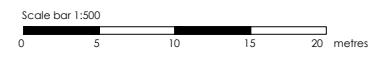
- KEY**
- Site Boundary
 - New perimeter fence-line
 - New column location (6-column system)
 - Contour
 - 250 Lux Level Grid

Page 115

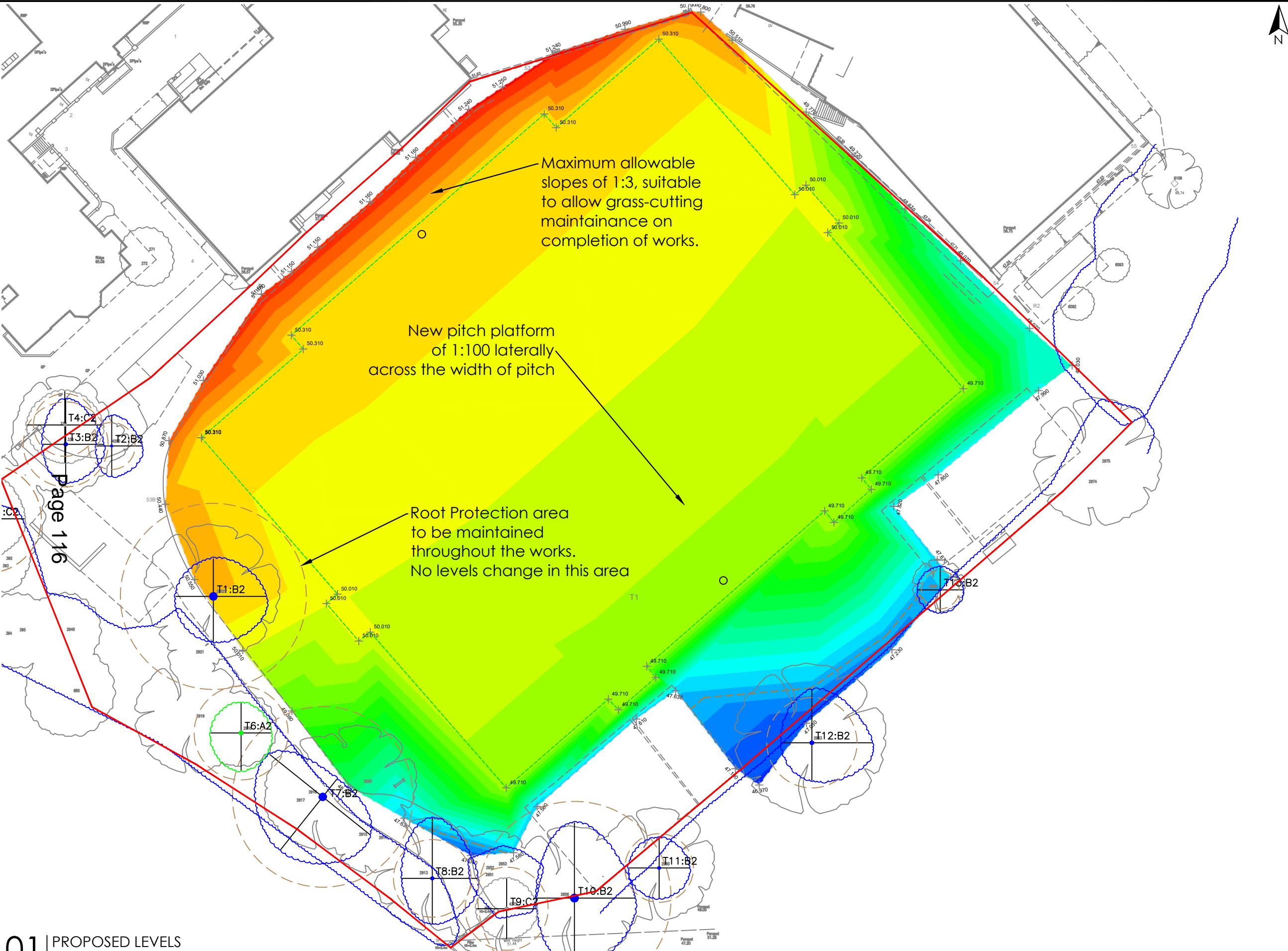
REVISION	DETAILS	BY	DATE	CHECKED

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 info@sportslabsconsult.com

**WIMBLEDON COLLEGE
 FLOODLIGHTING
 NEW 3G PITCH**

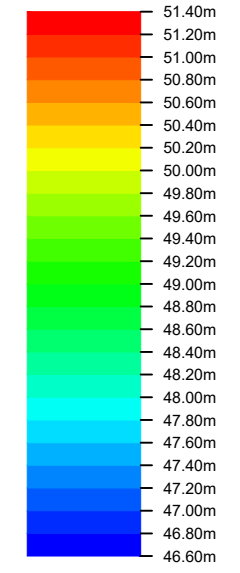


Date: 04/2021	Job No. 2930	Drawn by: FG
Scale: 1:500 @ A3	Checked by: DD	



NOTES
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KEY
— Site Boundary
— New Synthetic Pitch Area



Height Shading - indicating each 200mm change in level of the existing site.

Page 116

01 | PROPOSED LEVELS
SCALE: 1:500

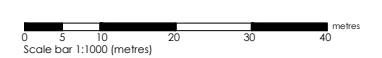
HEIGHT OF 49.210m FOR A LEVEL CUT & FILL BALANCE AS BELOW. TO FORM THE BASIS OF PROPOSED MODEL SHOWN DRAWING NO.502

Volume	Value	Area	Value	Avg Depth	Value
Cut	3459.6864	Cut	4002.0555	Cut	0.864
Fill	3443.6054	Fill	3853.8884	Fill	0.894
Balance	16.0811	Null	0.0000		

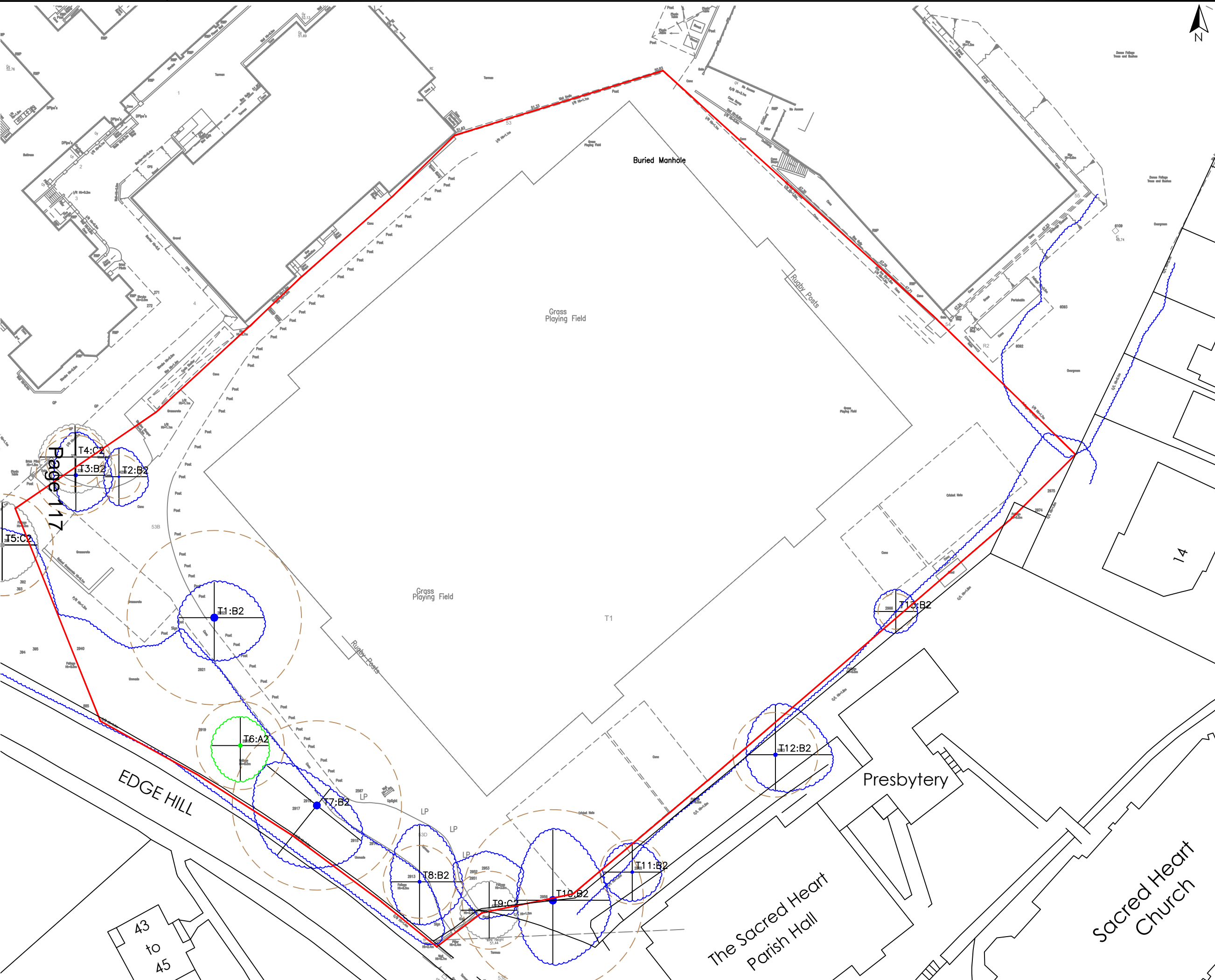
REVISION	DETAILS	BY	DATE	CHECKED



**WIMBLEDON COLLEGE
PROPOSED LEVELS
NEW 3G PITCH**



Date: 03/2021 Scale: 1:500 @ A3	Job No. 2930	Drawn by: FG Checked by: DD
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NOTES
 It is the contractor's responsibility to check design levels and sizes for compliance. Any discrepancies or errors to be identified to the design team.

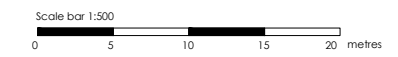
- KEY**
- Site Boundary
 - New Synthetic Pitch Area
 - RPA
 - Tree Condition CAT A
 - Tree Condition CAT B
 - Tree Condition CAT C
 - Tree Condition CAT D

Page 117

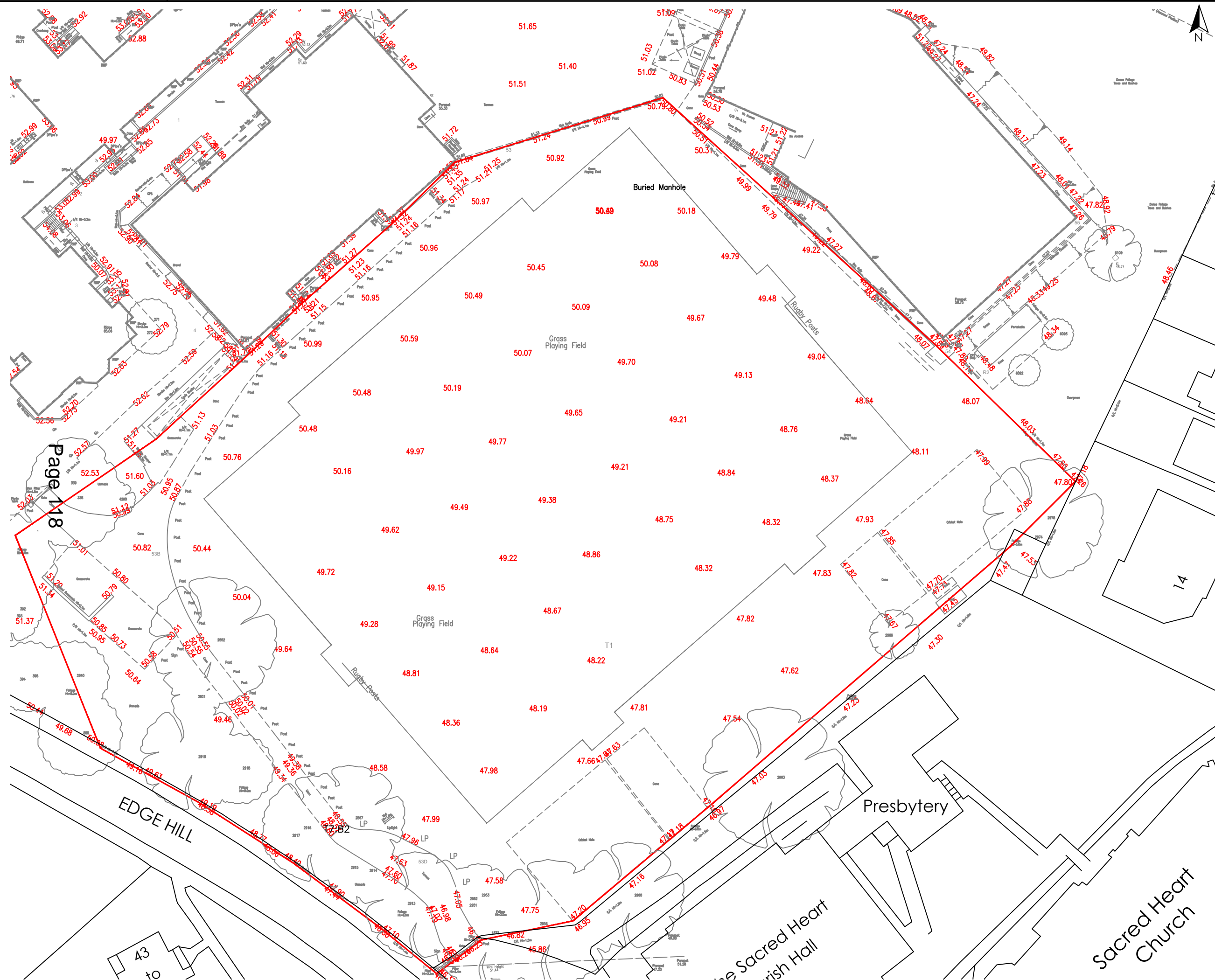
REVISION	DETAILS	BY	DATE	CHECKED

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**WIMBLEDON COLLEGE
 TREE SURVEY
 ROOT PROTECTION AREAS**



Date: 04/2021	Job No. 2930	Drawn by: FG
Scale: 1:500 @ A3	Checked by: DD	



NOTES
 It is the contractor's responsibility to check design levels and sizes for compliance. Any discrepancies or errors to be identified to the design team.

KEY
 — Site Boundary
 — New Synthetic Pitch Area

Page 118

REVISION	DETAILS	BY	DATE	CHECKED

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**WIMBLEDON COLLEGE
 TOPOGRAPHICAL SURVEY
 EXISTING SITE AREA**



Date: 04/2021	Job No. 2930	Drawn by: FG
Scale: 1:500 @ A3	Checked by: DD	

PLANNING APPLICATIONS COMMITTEE
9th December 2021

Item No:

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>DATE VALID</u>
	20/P3165	02/11/2020
Address/Site	290-302a Kingston Road, Raynes Park, SW20 8LX	
(Ward)	Merton Park	
Proposal:	REAR INFILL EXTENSION AT 2ND, 3RD AND 4TH FLOOR LEVEL TO PROVIDE 1 FLAT (3B/6P UNIT), WITH PROVISION OF CYCLE PARKING AND REFUSE STORAGE AT GROUND FLOOR LEVEL	
Drawing Nos:	100, 101, 725/PH01 Rev M, PL-012M Rev B, PL-012 Rev B, PL-013 Rev B, Proposed Rear Elevation – Infill Flats, 207, 211 and 213.	
Contact Officer:	Tim Lipscomb (0208 545 3496)	

RECOMMENDATION

Grant Permission subject to conditions and s.106 legal agreement.

CHECKLIST INFORMATION

- Heads of Agreement: Yes, restrict parking permits.
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: No
- Design Review Panel consulted: No
- Number of neighbours consulted: 403
- External consultations: No
- Conservation area: No
- Listed building: No
- Tree protection orders: No
- Controlled Parking Zone: Yes (MP2)

1. INTRODUCTION

- 1.1 This application is being brought to the Planning Applications Committee for determination due to the number of objections. This proposal does not qualify to be considered under any permitted development or prior approval process for the erection of extensions of up to two additional storeys to flatted blocks, as the residential use of part of the building below has been granted by Class MA of the GPDO, thereby excluding this proposal from the prior approval process. In addition, internal floor to ceiling height of the proposed floor would be higher than the existing top floor, which would also exclude the proposal from the prior approval process.

2. SITE AND SURROUNDINGS

- 2.1 The site is located to the southern side of Kingston Road at number 290-302a, within the Wimbledon Chase Neighbourhood Parade, 60m away from Wimbledon Chase train station. The site has an area of 0.09ha.
- 2.2 The site comprises a four-storey building, made up of three levels of residential use above ground level commercial units, the top floor is set back behind a solid parapet wall.
- 2.3 The original building was constructed in 1934. The existing third floor, roof top extension was added around 2005.
- 2.4 To the ground level, a restaurant and a gym forms the commercial frontage along Kingston Road, a crossover next to the residential entrance at number 302 provides access to the rear yard of the building, to the rear of the building is a single storey building accommodating the 'Sunshine Recovery Café' and the 'MACS Project (Community Drug Service)' with a car park for approximately 6 cars. There are three ground level residential units (3 x 1 bed) and residential parking spaces for 2 cars associated with this residential use.
- 2.5 The existing host building is rendered and off-white in colour, featuring subtle horizontal banding with two asymmetrical vertical piers and Art Deco detailing facing Kingston Road, secondary elevations are more utilitarian in appearance. The top floor is set back by 1.5m from the dominant façade on Kingston Road.
- 2.6 The original building comprised residential and office uses. The vacant offices on the first and second floor were converted to 9 residential units in 2019. In a separate prior approval application, 3 ground level residential units were created utilising retail floor areas to the rear of the building, along with a reconfiguration of the ground floor to provide a gym and create an improvement to the shopfront. There are a total of 22 flats in the existing building, including the

3 flats recently approved at ground floor level, to the rear of the site, under the prior approval process.

- 2.7 Beyond the single storey café building, located to the south of the site, are the rear gardens of residential properties in Bakers End and Chase Court.
- 2.8 To the northern side of the road is a single storey retail unit at Wimbledon Chase Station, along with main frontage buildings up to five storeys in height, with mixed commercial and residential uses.
- 2.9 The site is subject to the following planning constraints:
 - Wimbledon Chase Neighbourhood Parade
 - Archaeological Priority Zone
 - Flood Zone 1
 - PTAL of 3
 - Controlled Parking Zone MP2

3. PROPOSAL

- 3.1 The proposal is for a rear infill extension to provide one flat (3b/6P) with a balcony to the rear elevation. The rear infill extension at 2nd, 3rd and 4th floor level would effectively 'square-off' the existing building.
- 3.2 A concurrent application is being considered under application ref. 20/P3165 for this infill extension in addition to a rooftop extension. The current application is for the infill extension as a standalone proposal.
- 3.3 Facing materials would match the existing, with window alignments largely in line with the existing. Works to building below have already been carried out as part of recent refurbishing works.
- 3.4 The new flat would be accessed off the existing circulation core at second floor level.
- 3.5 The proposed unit would be south facing single aspect.
- 3.6 3 cycle parking spaces are proposed at ground floor level, within the footprint of the existing building, formed by internal alterations to enlarge the existing bike store.
- 3.7 Additional bin storage would be provided at ground floor level, within the footprint of the existing building, formed by internal alterations to enlarge the existing meter cupboard. The application documents set out that as an improvement to the existing ground floor, the new bin store would have capacity to collect waste from the three ground floor residential units to the rear (in addition to the proposed rooftop units), which are currently served by an external bin store in the rear.

3.8 In terms of servicing, a refuse vehicle would service from the main road, as is the existing situation for the residential properties on site.

3.9 The proposal would provide the following accommodation:

	Type	Habitable rooms	GIA (sqm)	External amenity space (sqm)
2nd-4th Floor Unit 1	3b/5p	5	110	8.1

3.10 Minor amendments have been made to this scheme throughout the course of the application. The key changes relate to the internal room layout of the proposed flat.

3.11 The application is accompanied by the following supporting documents:

- Background Noise Survey and Plant Assessment
- Confirmation of existing drainage capacity
- Design and Access Statement
- Energy Statement
- Foul drainage sizing

4. PLANNING HISTORY

4.1 There is extensive planning history on the site, albeit the majority is not relevant to the current proposal. The most relevant history is summarised as follows:

1999 to 2010 - various planning permissions relating to alterations and extensions and advertisements to commercial units

03/P1564 - RETENTION OF SINGLE STOREY REAR EXTENSION TO THE EXISTING RESTAURANT. Application Granted 08-09-2003.

04/P0342 - ERECTION OF THIRD FLOOR EXTENSION TO THE BUILDING TO PROVIDE 6 X 1 BEDROOM FLATS. Grant Permission subject to Conditions 30-04-2004.

13/P3497 - PRIOR APPROVAL IN RELATION TO THE CHANGE OF USE OF FIRST, SECOND AND THIRD FLOOR OFFICES (CLASS B1) TO RESIDENTIAL (CLASS C3) CREATING 7 x SELF-CONTAINED FLATS. Prior Approval Granted 23-12-2013.

18/P2570 - PRIOR APPROVAL FOR CHANGE OF USE FROM OFFICE USE (CLASS B1) TO 9 DWELLINGS (USE WITHIN CLASS C3). Prior Approval Not Required 17-12-2018.

19/P2065 - APPLICATION TO DETERMINE WHETHER PRIOR APPROVAL IS REQUIRED IN RESPECT OF THE PROPOSED CHANGE OF USE FROM RETAIL TO RESIDENTIAL, TO PROVIDE AN ADDITIONAL 3 RESIDENTIAL UNITS. Prior Approval Granted 07-04-2020

19/P3073 - APPLICATION FOR CHANGE OF USE OF PART OF RECONFIGURED GROUND FLOOR FOR USE AS A GYM. Grant Permission subject to Conditions 08-11-2019

20/P0030 - APPLICATION FOR ADVERTISEMENT CONSENT FOR THE DISPLAY OF 2 INTERNALLY ILLUMINATED FASCIA SIGNS, LOGO SIGN, FLAG SIGN AND VINYL WINDOW SIGNS. Grant Advertisement Consent 06-02-2020.

20/P0494 - APPLICATION TO VARY CONDITION 4 (OPENING HOURS) ATTACHED TO LBM PLANNING PERMISSION 19/P3073, RELATING TO THE CHANGE OF USE OF PART OF RECONFIGURED GROUND FLOOR FOR USE AS A GYM. Grant Variation of Condition 30-03-2020

20/P3168 – ERECTION OF A SINGLE STOREY ROOF EXTENSION AND INFILL EXTENSION FOR THE CREATION OF 5 SELF CONTAINED FLATS TOGETHER WITH ASSOCIATED AMENITY AREAS, CYCLE PARKING, REFUSE AREAS AND ASSOCIATED WORKS. Pending decision.

5. **RELEVANT POLICIES.**

5.1 The key policies of most relevance to this proposal are as follows:

5.2 **National Planning Policy Framework (2021)**

2. Achieving sustainable development
4. Decision-making
5. Delivering a sufficient supply of homes
6. Building a strong, competitive economy
7. Ensuring the vitality of town centres
8. Promoting healthy and safe communities
9. Promoting sustainable transport
11. Making effective use of land
12. Achieving well-designed places
14. Meeting the challenge of climate change, flooding and coastal change

5.3 **London Plan (2021):**

- D1 London's form, character and capacity for growth
- D2 Infrastructure requirements for sustainable densities
- D3 Optimising site capacity through the designed approach
- D4 Delivering good design
- D5 Inclusive design

D6 Housing quality and standards
 D7 Accessible housing
 D8 Public realm
 D11 Safety, security and resilience to emergency
 D12 Fire safety
 D13 Agent of Change
 D14 Noise
 H1 Increasing housing supply
 H10 Housing size mix
 S4 Play and informal recreation
 HC1 Heritage conservation and growth
 G5 Urban greening
 G6 Biodiversity and access to nature
 G7 Trees and woodlands
 SI 1 Improving air quality
 SI 2 Minimising greenhouse gas emissions
 SI 3 Energy infrastructure
 SI 4 Managing heat risk
 SI 5 Water infrastructure
 SI 7 Reducing waste and supporting the
 circular economy
 SI 8 Waste capacity and net waste self-sufficiency
 SI 10 Aggregates
 SI 13 Sustainable drainage
 T1 Strategic approach to transport
 T2 Healthy Streets
 T3 Transport capacity, connectivity and safeguarding
 T4 Assessing and mitigating transport impacts
 T5 Cycling
 T6 Car parking
 T6.1 Residential parking
 T6.3 Retail parking
 T7 Deliveries, servicing and construction
 T9 Funding transport infrastructure through planning

5.4 **Merton Local Development Framework Core Strategy – 2011 (Core Strategy)**

Relevant policies include:

CS 8 Housing choice
 CS 9 Housing provision
 CS 11 Infrastructure
 CS 13 Open space, leisure and nature conservation
 CS 14 Design
 CS 15 Climate change
 CS 17 Waste management
 CS 18 Transport
 CS 19 Public transport
 CS 20 Parking servicing and delivery

5.5 **Merton Sites and Policies Plan – 2014 (SPP)**

Relevant policies include:

DM H2 Housing mix
 DM H3 Support for affordable housing
 DM O2 Nature conservation, Trees, hedges and
 landscape features
 DM D1 Urban Design
 DM D2 Design considerations

DM D3 Extensions and alterations to existing buildings
DM EP2 Reducing and mitigating noise
DM EP3 Allowable solutions
DM EP4 Pollutants
DM F2 Sustainable urban drainage systems (SuDS) and;
Wastewater and Water Infrastructure
DM T2 Transport impacts of development
DM T3 Car parking and servicing standards
DM T4 Transport infrastructure

5.6 **Supplementary planning considerations**

National Design Guide – October 2019
Draft Merton Local Plan
DCLG: Technical housing standards - nationally described space standard March 2015
Merton's Design SPG 2004
GLA Guidance on preparing energy assessments – 2018
London Environment Strategy - 2018
Mayor's Air Quality Strategy - 2010
Mayor's SPG - Housing 2016
Mayor's SPG – Sustainable Design and Construction 2014
Mayor's SPG – Character and Context 2014
Mayor's SPG – Play and Informal Recreation 2012
LB Merton – Air quality action plan - 2018-2023.
LB Merton - Draft Sustainable Drainage (SUDS) Design and Evaluation Supplementary Planning Document (SPD) 2018
Merton's Waste and Recycling Storage Requirements – A Guidance for Architects
Merton's Small Sites Toolkit SPD 2021

6. **CONSULTATION**

6.1 Press Notice, 21-day site notice procedure and individual letters to neighbouring occupiers. Representations have been received from 8 addresses raising objections on the following grounds:

- Over population and overcrowding concerns.
- Concerns regarding metallic external materials
- Adding to existing bin and bike storage may result in facilities that are not fit for purpose. Also queries as to how this enlargement would take place whilst residents are using the bike store.
- Query whether affordable housing contributions are required.
- Leaseholders have not agreed to an additional floor of accommodation directly above and were told there would be no 'Phase 2'.
- Concerns over disturbance from construction process, including noise, concerns over safety of living in or adjacent to a building site, impact of scaffolding blocking sunlight, air quality impact, mental health impact, all compounded by Covid 19 and increased working from home.

- Queries relating to building insurance, re-mortgaging concerns, compensation to existing top floor occupiers and owners and queries relating to service charges.
- Current issues with water supply to the building.
- Loss of light and privacy.
- Devaluation of existing residential units, particularly the rooftop units.
- Concerns regarding external stairwell blocking light and outlook.
- Soundproofing in existing building is not adequate.
- Concerns relating to sewage infrastructure.
- Concern that construction process would cause disturbance to residents but also the café to the rear of the site and ground floor businesses.
- Concern that proposed balconies are directly above existing balconies and thus blocking light and air circulation.
- Concern that additional units would result in additional parked cars in neighbouring streets thereby exacerbating the existing parking problem locally.
- Canyon effect to the street.**
- Height and massing is inappropriate. It would become the tallest building on the street and it would look bizarre and would not fit into the local context and townscape.**
- Query whether existing lift is fit for purpose for an additional floor, as it is already very slow.**
- Safety concerns relating to proposed cladding of the top floor.**
- The massing and height of the proposed building are even greater than before.**
- Height would set an undesirable precedent.**

Officers note that the majority of letters received referred to both this application and concurrent application 20/P3168, which includes an additional rooftop extension. Those marked ** comprise objections citing this application reference but which officers consider appear primarily concerned with the concurrent application.

6.4 LBM Environmental Health Officer:

Should you be minded to approve the application then I would recommend the following planning conditions:-

- 1) Due to any potential impact of the surrounding locality on the development the recommendations to protect noise intrusion into the residential dwellings as specified in the Bloc Consulting, Background Noise Survey and Noise Assessment Report Ref: 26593REP – 2B, dated 7/9/2020 shall be implemented as a minimum standard. A post completion noise assessment to ensure compliance, with the new plant in operation shall be undertaken and submitted to the LPA. The criteria in the

above-mentioned report shall also apply for the occupiers of the existing and proposed residential property.

2) Any altered ducting/fans shall be fitted with suitable anti-vibration mounts to prevent structure borne vibration/noise.

4) No development shall take place until a Demolition and Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the demolition and construction period.

The Statement shall provide for:

- hours of operation
- the parking of vehicles of site operatives and visitors
- loading and unloading of plant and materials
 - storage of plant and materials used in constructing the development
- the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate
- wheel washing facilities
- measures to control the emission of noise and vibration during construction/demolition.
- demonstration to show compliance with BS5228
- measures to control the emission of dust and dirt during construction/demolition
- a scheme for recycling/disposing of waste resulting from demolition and construction works

Reason: To protect the amenities of the occupiers in the adjoining residential premises and future occupants.

6.5 LBM Highway Officer:

No objection, subject to a condition (H09) relating to the parking of construction vehicles and informatives relating to works on the public highway (INF9 and INF12)

6.6 LBM Transport Officer:

Access

General access to the additional unit remains the same as the existing building.

PTAL

The site has a PTAL of 3, which is considered to be a moderate rating. A moderate PTAL rating suggests that it is possible to plan regular journeys such as daily work trips or trips to and from school using public transport.

Directly across from the site is Wimbledon Chase station. Wimbledon Chase railway station is served by Thameslink trains.

There is no car parking for the development.
The site is within Controlled Parking Zones of the adjoining roads.

To overcome the potential impact of car parking on local roads, the applicant should be willing to accept a permit-free agreement which restricts future occupiers from obtaining a parking permits to park on local streets. This can be secured by through a Unilateral Undertaking.

Cycle Parking

The existing cycle store will be reconfigured and extended to create 2 additional private and secure cycle parking spaces. The cycle parking provision satisfies the London Plan Standards.

Refuse

The proposed additional bin store will be accessed from the same location as the existing bin store serving the existing residential units.

Recommendation: Raise no objection subject to:

- The applicant enters into a Unilateral Undertaking which would restrict future occupiers of the unit from obtaining an on-street residential parking permit to park in the surrounding controlled parking zones to be secured by via S106 legal agreement.
- Condition requiring cycle parking (secure & undercover).
- Refuse storage as shown maintained.
- Demolition/Construction Logistic Plan (including a Construction Management plan in accordance with TfL guidance) should be submitted to LPA for approval before commencement of work.

6.7 LBM Waste Management:

No objection to proposed arrangements.

7. **PLANNING CONSIDERATIONS**

7.1 Key Issues for consideration

7.1.1 The key issues in the assessment of this planning application are:

- Principle of development
- Residential density
- Design and impact upon the character and appearance of the area
- Impact on neighbouring amenity
- Standard of accommodation
- Transport, highway network, parking and sustainable travel
- Safety and Security considerations
- Sustainability
- Air quality

- Flooding and site drainage
- S.106 requirements/planning obligations
- Response to issues raised in objection letters

7.2 Principle of development

7.2.1 Policy H1 of the London Plan 2021 states that development plan policies should seek to identify new sources of land for residential development including intensification of housing provision through development at higher densities. Core Strategy policies CS8 & CS9 seek to encourage proposals for well-designed and conveniently located new housing that will create socially mixed and sustainable neighbourhoods through physical regeneration and effective use of space.

7.2.2 Policy H1 of the London Plan 2021 has set Merton a ten-year housing target of 9,180 new homes. By providing one new unit the proposals would make a small contribution to meeting that target and providing much needed new housing.

7.2.3 The proposal to intensify residential use to this site is considered to respond positively to London Plan and Core Strategy planning policies to increase housing supply and optimising sites and the principle of development is considered to be acceptable subject to compliance with the relevant policies of the Development Plan.

7.3 Residential density

7.3.1 London Plan policy D3, Optimising site capacity through the design-led approach, sets out that higher density developments should generally be promoted in locations that are well connected to jobs, services, infrastructure and amenities by public transport, walking and cycling.

7.3.2 The London Plan explains that comparing density between schemes using a single measure can be misleading as it is heavily dependent on the area included in the planning application site boundary as well as the size of residential units.

7.3.3 For information, the existing residential density across the site is 244 units per hectare, with the proposed density being 255 units per hectare. Whilst residential density can be a useful tool identifying the impact of a proposed development, officers consider that in this instance greater weight should be attached to assessing the impact on the character of the area and the amenity of neighbouring occupiers in this assessment.

7.4 Design and impact upon the character and appearance of the area

- 7.4.1 The NPPF, London Plan policies D3 and D4, Core Strategy policy CS 14 and SPP Policy DM D2 require well designed proposals which make a positive contribution to the public realm, are of the highest quality materials and design and which are appropriate in their context. Thus, development proposals must respect the appearance, materials, scale, bulk, proportions and character of their surroundings.
- 7.4.2 The existing building exhibits strong Art Deco architecture and it is important that any addition to the building does not detract from the simple form and proportions of the building.
- 7.4.3 The infill extension to the rear has a limited impact on visual amenity and would effectively 'square-off' the existing building and this infill extension would assist in tidying up the rear elevation of the building with a unified appearance.
- 7.4.4 The proposed addition would largely continue the existing pattern of fenestration and pallet of materials and officers consider that the proposal has responded well to its immediate context and the additions would not have an adverse impact on the appearance of the existing building.
- 7.5 Impact on neighbouring amenity
- 7.5.1 Policy DM D2 seeks to ensure that development does not adversely impact on the amenity of nearby residential properties.
- 7.5.2 Privacy and overlooking
- 7.5.3 The infill extension would be separated from neighbouring properties to the rear (semi-detached dwellings at Bakers End) by the same extent as the existing building below (23.2m to the boundary and over 30m to the closest windows to properties at Bakers End). The infill extension would be visible when viewed from the gardens and rear windows of some neighbouring properties but due to the separation distances it is concluded that no objection based on loss of privacy or overlooking could be reasonably substantiated.
- 7.5.4 Views to the sides of the building would be minimal as no windows are provided to the sides. Therefore, there would not be a harmful level of overlooking to properties to the side.
- 7.5.5 The proposed flats would not result in material harm to the existing flats below by way of overlooking or loss of privacy as no direct views would be provided.
- 7.5.6 Loss of light, shadowing and visual intrusion

- 7.5.7 The properties to the south of the site on Bakers End would not be particularly affected by loss of sunlight issues as the site is directly to the north. As mentioned above, the proposed addition would make the building more visually prominent but not to the extent that it could be argued to be materially harmful in terms of visual intrusion or loss of outlook to properties on Bakers End.
- 7.5.8 The proposed infill addition, once in situ, would have a very limited impact on the floors below and adjacent, as the extension does not enlarge the footprint of the building. It is noted that objection has been raised in that proposed balcony would be positioned above windows serving an existing residential units below. It is noted that the balcony would be positioned above windows of residential units below, the balconies would be separated from the top of these windows by approximately 80cm with a 1.5m rear projection. Whilst the underside of the balconies would be visible from the windows below, levels of light and outlook would not be significantly diminished and officers consider that a reason for refusal on this ground could not reasonably be substantiated.
- 7.5.9 The proposed rear infill would increase the bulk and massing of the building but it would not increase the footprint of the building (other than by way of projecting balconies) and given the separation distances to neighbouring properties (measurement taken from outer edge of balcony - 21.7m to the boundary and over 30m to the closest windows to properties at Bakers End). it is considered that the proposed development would not result in material harm to neighbouring amenity.

7.6 Standard of Accommodation

- 7.6.1 Policy D6 of the London Plan states that housing developments should be of the highest quality internally and externally. New residential development should ensure that it reflects the minimum internal space standards (specified as Gross Internal Areas).
- 7.6.2 The proposed unit marginally exceeds the minimum GIA set out in the London Plan.
- 7.6.3 The amount of private external amenity space provided would marginally exceed the minimum requirements of the London Plan and no objection is raised in this regard.
- 7.6.4 The provision of external amenity space is considered to be acceptable.
- 7.6.6 The existing building layout features a number of single aspect units, with all units on the 1st, 2nd and 3rd floors being single aspect (north or south facing). Due to the available space to accommodate this infill extension there would only be outlook to the rear, so the unit would be single aspect, south facing, with a view to the south across

three floors. Whilst single aspect units are not encouraged, in this case there is no viable alternative due to the layout of the existing building. The proposal would result in a satisfactory standard of accommodation for future occupiers, given that the unit is served by reasonably large, south facing windows to each habitable room.

7.6.7 The standard of accommodation is considered to be acceptable.

7.7 Transport, highway network, parking and sustainable travel

7.7.1 Policy T6 of the London Plan states that Car-free development should be the starting point for all development proposals in places that are (or are planned to be) well-connected by public transport. At a local level Policy CS20 requires developers to demonstrate that their development will not adversely affect on-street parking or traffic management. Policies DMT1-T3 seek to ensure that developments do not result in congestion, have a minimal impact on existing transport infrastructure and provide suitable levels of parking.

7.7.2 The proposed development would provide one new dwelling. The site is within a Controlled Parking Zone and therefore, in order to minimise the impact on the local highway network and to minimise impact on parking pressure, officers advise that the application should be subject to a s.106 agreement to preclude the issuing of parking permits to future occupiers.

7.7.3 The proposed development would provide for suitable levels of cycle parking in an accessible location and would meet London Plan requirements.

7.7.4 Subject to legal agreement and conditions, the proposed development is considered to be acceptable in term of transport and highway impacts.

7.8 Refuse storage and collection

7.8.1 Policies SI8 and SI 10 of the London Plan and policy CS 17 of the Core Strategy requires details of refuse storage and collection arrangements.

7.8.2 A storage area for refuse has been indicated on the ground floor, which provides suitable access to residents and for the transportation of refuse for collection. It is considered this arrangement would be acceptable and a condition requiring its implementation and retention will be included to safeguard this.

7.9 Safety and Security considerations

7.9.1 Policy DMD2 sets out that all developments must provide layouts that are safe, secure and take account of crime prevention and are developed in accordance with Secured by Design principles.

7.9.2 The proposed flat would be accessed via the existing stairwell and entrance doors as the existing flatted units in the building. This is an improvement over the units granted prior approval at ground floor level, which are accessed via the rear of the site (however, safety and security concerns cannot be taken into account in the prior approval assessment to the extent that it can in a planning application). The current proposal would also consolidate bin storage across the site, which reduces the need for people to enter the rear part of the site. Therefore, the proposal is considered to be acceptable in terms of safety and security considerations.

7.10 Sustainability

7.10.1 London Plan policies SI 2 to SI 5 and CS policy CS15 seek to ensure the highest standards of sustainability are achieved for developments which includes minimising carbon dioxide emissions, maximising recycling, sourcing materials with a low carbon footprint, ensuring urban greening and minimising the usage of resources such as water.

7.10.2 Subject to condition to secure the necessary details, the proposal is considered to be acceptable in terms of sustainability and climate change considerations.

7.11 Air quality and potentially contaminated land

7.11.1 The whole of Merton is an Air Quality Management Area (AQMA).

7.11.2 The London Plan requires both major and minor development to be air quality neutral and in light of Merton's recently published Air Quality Action Plan, which seeks to minimise emissions from gas boilers and minimise the levels of localised PMs (Particulate Matter) and NO₂ throughout the construction phase, it is important that the impact on air quality is minimised. Therefore, in addition to conditions relating to energy usage, officers recommend conditions relating to the construction process and air quality.

7.12 Flooding and site drainage

7.12.1 Policy SI 13 of the London Plan (Sustainable drainage) sets out that development proposals should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible. There should also be a preference for green over grey features.

7.12.2 The site is within Flood Zone 1 (low probability of flooding) and is not within a critical drainage area. However, notwithstanding that, the final scheme should include details of a Sustainable Urban Drainage System and demonstrate a sustainable approach to the management of surface water on site. This matter can be satisfactorily addressed by way of condition and officers raise no objection in this regard.

7.13 S.106 requirements/planning obligations

7.13.1 So as to mitigate against any impact on parking pressure locally, it will be necessary for the development to be parking permit free, by way of legal agreement.

7.13.2 The proposed development would be subject to the Community Infrastructure Levy (CIL). This would require a contribution of £220 per additional square metre of floor space to be paid to Merton Council and an additional £60 per additional square meter to be paid to the Mayor. Further information on this can be found at:
<http://www.merton.gov.uk/environment/planning/cil.htm>

7.14 Response to issues raised in objection letters

7.14.1 The majority of uses raised by objectors are addressed in the body of this report and a number of issues relate to the original application scheme, rather than the amended scheme. However, the following additional comments are provided:

- Some degree of disturbance caused by the construction process is inevitable. However, this cannot reasonably amount to a reason for refusal provided reasonable efforts are made to minimise and mitigate for the impact. Therefore, safeguarding conditions for method of construction statements are sought which would detail how the impacts of the construction process are to be minimised. Any compensation sought by existing occupiers would be a private civil matter – in planning terms, provided the impact is minimised as far as possible there would be no reasonable grounds for objection.
- Affordable housing contributions are only required on major schemes (10 units or above), so this development is not required by adopted policy to make any provision.
- The maintenance of the lift, sewage infrastructure and water supply to the building are covered by separate legislation (such as Building regulations) and is not a matter that is addressed under planning policies.
- Any cladding of the top floor would be required to meet relevant Building regulation requirements (along with means of evacuation) and is not a matter that can be considered under this minor planning application (only major planning applications are required to provide a Fire Safety Statement).

- Issues of whether leaseholders have agreed to additional floors above is a private, civil matter and does not affect the planning assessment of the proposal. Planning permission does not convey an ultimate right to develop and if there are other legal obstacles the granting of planning permission may not necessarily overrule these legal obstacles.
- Issues relating to re-mortgaging, building insurance and service charges are not matters that can be considered under the planning assessment.
- The impact on property values is not a material planning consideration (however, members are advised that the impact on visual and residential amenity are material considerations that can be taken into account).
- Issues of soundproofing would be addressed through the Building Regulations as opposed to at the planning stage.
- Concerns relating to displacement parking in neighbouring streets has been carefully considered but officers conclude that it would not be reasonable to withhold planning permission on this basis, as the application would be subject to a restriction on the issuing of parking permits by way of s.106 which would meet the relevant policy requirements. In addition, there are legislative pathways that would allow for consideration of parts of the borough to be included in a CPZ in the future were the demand established.

8. CONCLUSION

- 8.1 The proposal would provide one additional family sized unit, with external amenity space, which would contribute to meeting the borough's overall housing need.
- 8.2 The form and appearance of the proposed addition is considered to complement the existing building and would assist in tidying up what might be considered the rather piecemeal and disjointed appearance of the rear elevation.
- 8.3 The proposal, as a result of the increased bulk and massing over the existing, would result in some limited impact on properties to the rear of the site. However, as explained in this report, the impact is considered to be minimal and would not warrant a reason for refusal in this urban context.
- 8.4 Officers consider that the proposal is acceptable in planning terms, subject to conditions and a legal agreement and therefore the recommendation is for approval.

RECOMMENDATION

Grant planning permission subject to s106 agreement securing the following:

- Restrict parking permits for all new units. and
- The applicant covering the Council's reasonable costs of all work in drafting S106 and monitoring the obligations.

And the following conditions:

1. Time limit
2. Approved Plans
3. B1 External Materials to be Approved
4. C07 Refuse & Recycling (Implementation)
5. C08 No Use of Flat Roof
6. Details of External Lighting Scheme
7. H06 Cycle Parking (Implementation)
8. H10 Construction Vehicles, Washdown Facilities etc (major sites)
9. H12 Delivery and Servicing Plan
10. H13 Demolition/Construction Logistics Plan, including a Construction Management Plan to be submitted to cover:
 - hours of operation
 - the parking of vehicles of site operatives and visitors
 - loading and unloading of plant and materials
 - storage of plant and materials used in constructing the development
 - the erection and maintenance of security hoarding including decorative -displays and facilities for public viewing, where appropriate
 - wheel washing facilities
 - measures to control the emission of noise and vibration during construction/demolition.
 - demonstration to show compliance with BS5228
 - measures to control the emission of dust and dirt during construction/demolition
 - a scheme for recycling/disposing of waste resulting from demolition and construction works
11. L2 Sustainability - Pre-Commencement (New build residential)
12. A Non Standard Condition: The development shall be implemented only in accordance with the recommendations to protect noise intrusion into the residential dwellings and plant noise criteria as detailed in the submitted Background Noise Survey and Plant Assessment.
13. A Non Standard Condition: Noise levels, (expressed as the equivalent continuous sound level) LAeq (10 minutes), from any fixed external new plant/machinery shall not exceed LA90-10dB at the boundary with any residential property or noise sensitive premises.
14. A Non Standard Condition: All Non-road Mobile Machinery (NRMM) used during the course of the development that is within the scope of the Greater London Authority 'Control of Dust and Emissions during Construction and Demolition' Supplementary

Planning Guidance (SPG) dated July 2014, or any subsequent amendment or guidance, shall comply with the emission requirements therein.

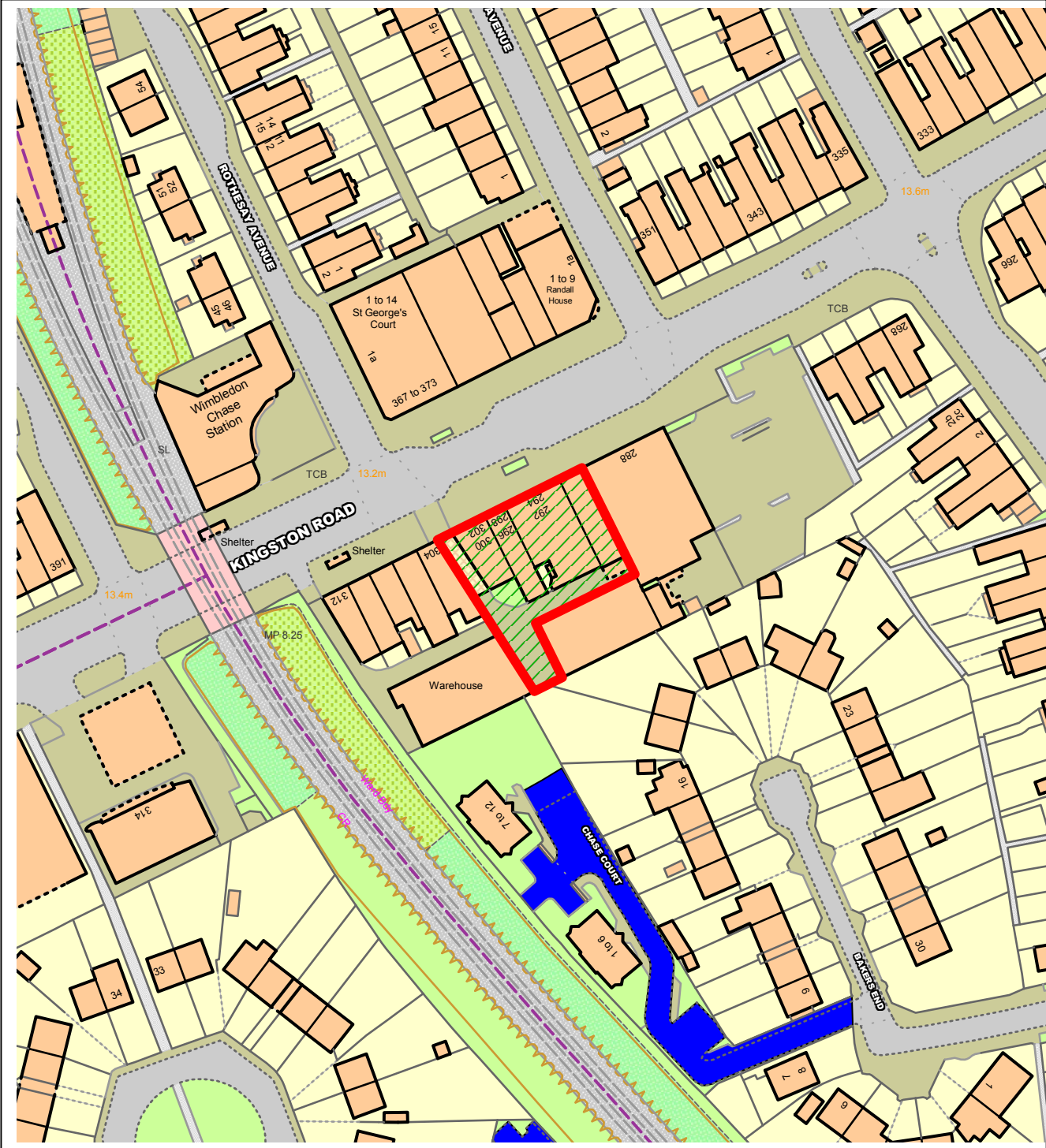
15. Non Standard Condition 1. Prior to the commencement of development, including demolition, a detailed Demolition and Construction Environmental Management Plan (DCEMP) shall be submitted to and approved in writing by the Local Planning Authority. The DCEMP shall include:
 - a) An Air quality management plan that identifies the steps and procedures that will be implemented to minimise the creation and impact of dust and other air emissions resulting from the site preparation, demolition, and groundwork and construction phases of the development. To include continuous dust monitoring.
 - b) Construction environmental management plan that identifies the steps and procedures that will be implemented to minimise the creation and impact of noise, vibration, dust and other air emissions resulting from the site preparation, demolition, and groundwork and construction phases of the development.
2. The development shall not be implemented other than in accordance with the approved scheme, unless previously agreed in writing by the Local Planning Authority.

Reason: To ensure the development does not raise local environment impacts and pollution.

16. A Non Standard Condition: No development approved by this permission shall be commenced until a detailed scheme for the provision of surface and foul water drainage has been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) via infiltration or at an agreed runoff rate, in accordance with drainage hierarchy contained within the London Plan and the advice contained within the National SuDS Standards.

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NORTHGATE SE GIS Print Template



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 NORTH

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NOTES

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rev.	date	by	description

DATE AUG 2020
SCALE 1:1250 @ A3
DRAWN BY JO

STATUS PLANNING	DWG NO. 100
DRAWING LOCATION PLAN	REV. -
CLIENT LEOS INTERNATIONAL	PROJECT INFILL UNIT TO REAR OF 290- 302A KINGSTON ROAD, SW20 8LX

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JOB NO.
373



SITE PLAN

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rev.	date	by	description

DATE	AUG 2020
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STATUS	CONSTRUCTION	
DRAWING	SITE PLAN	DWG NO. 101
CLIENT	LEOS INTERNATIONAL	

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PROJECT	INFILL UNIT TO REAR OF 290 - 302A KINGSTON ROAD, SW20 8LX	JOB NO.	373
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EXISTING GROUND FLOOR PLAN

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- EXISTING

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rev.	date	by	description

DATE	AUG 2020
SCALE	1:100 @ A1 1:200 @ A3
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STATUS	PLANNING	
DRAWING	EXISTING GROUND FLOOR PLAN	DWG NO. 200
		REV. -
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EXISTING SECOND FLOOR PLAN

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NOTES

- EXISTING
- OUTLINE OF PROPOSED UNIT

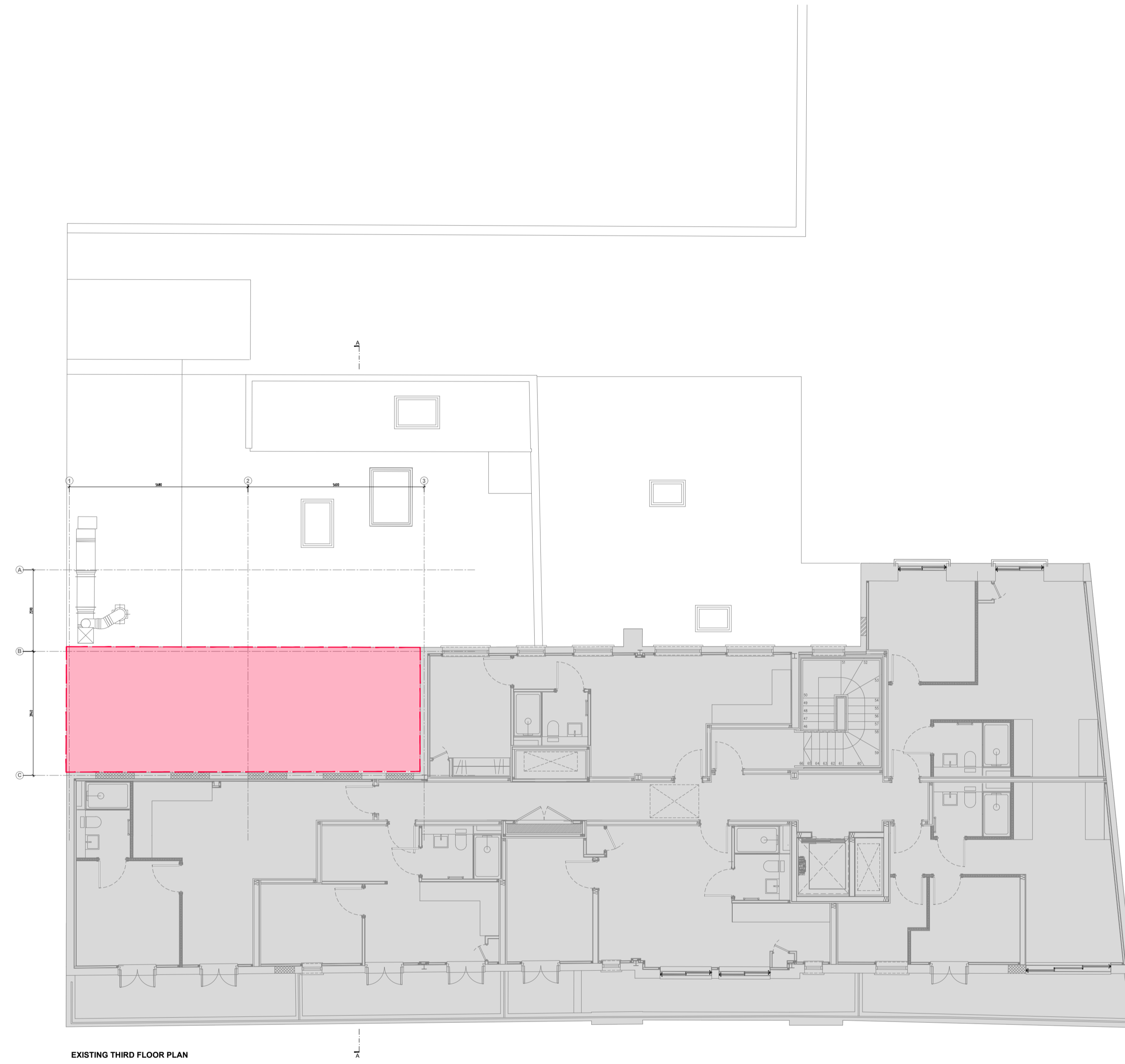
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DATE	AUG 2020
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STATUS	PLANNING	
DRAWING	EXISTING SECOND FLOOR PLAN	DWG NO. 202
		REV. -
CLIENT	LEOS INTERNATIONAL	

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EXISTING THIRD FLOOR PLAN

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- OUTLINE OF PROPOSED UNIT

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rev.	date	by	description

DATE	AUG 2020
SCALE	1:100 @ A1 1:200 @ A3
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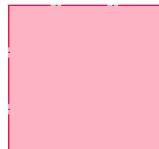
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		REV. -
CLIENT	LEOS INTERNATIONAL	

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-  - OUTLINE OF PROPOSED UNIT

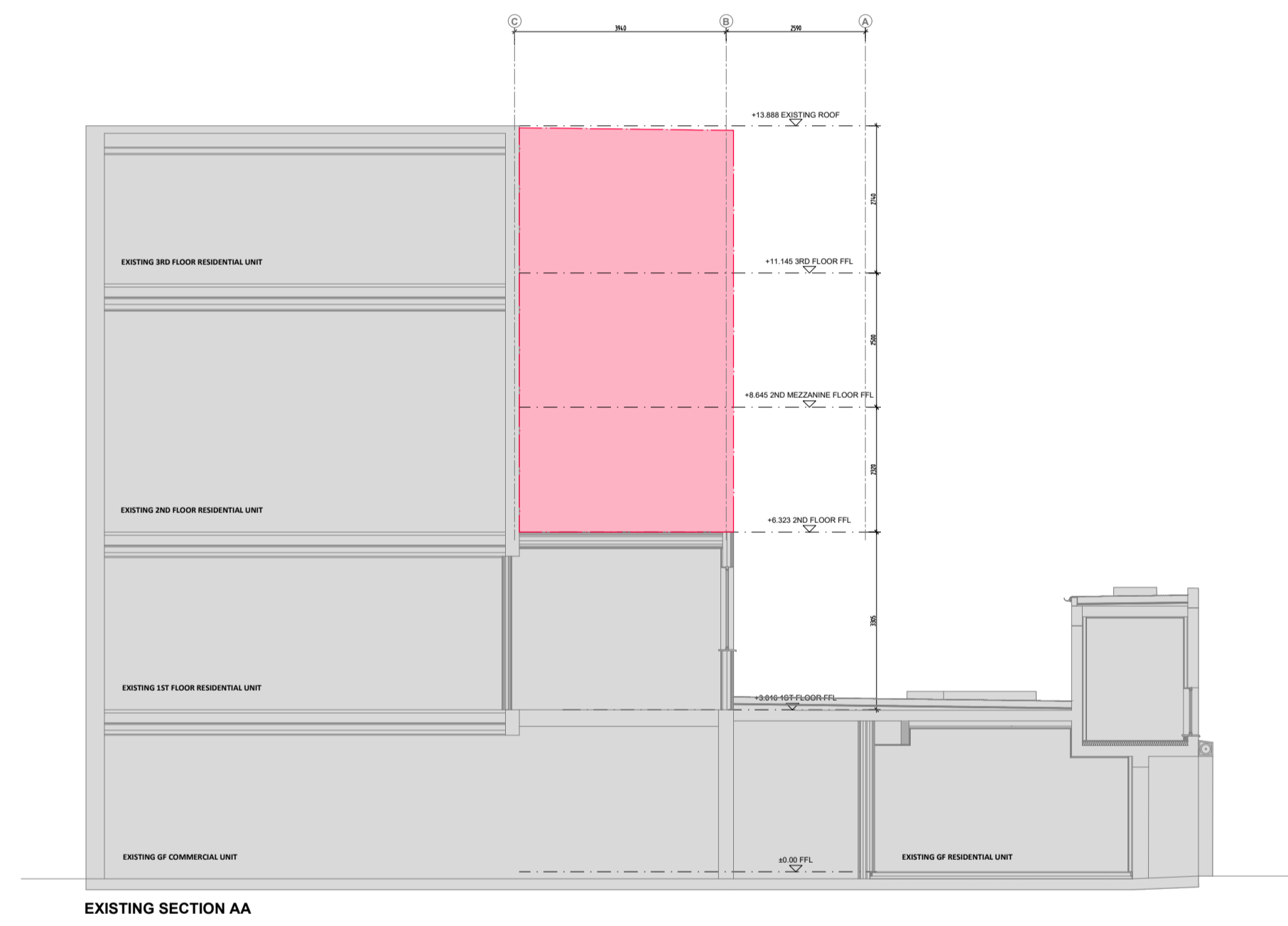
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DATE	AUG 2020
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STATUS	PLANNING	
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		REV. -
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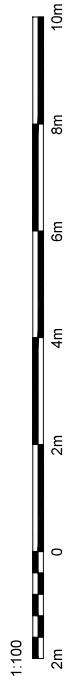
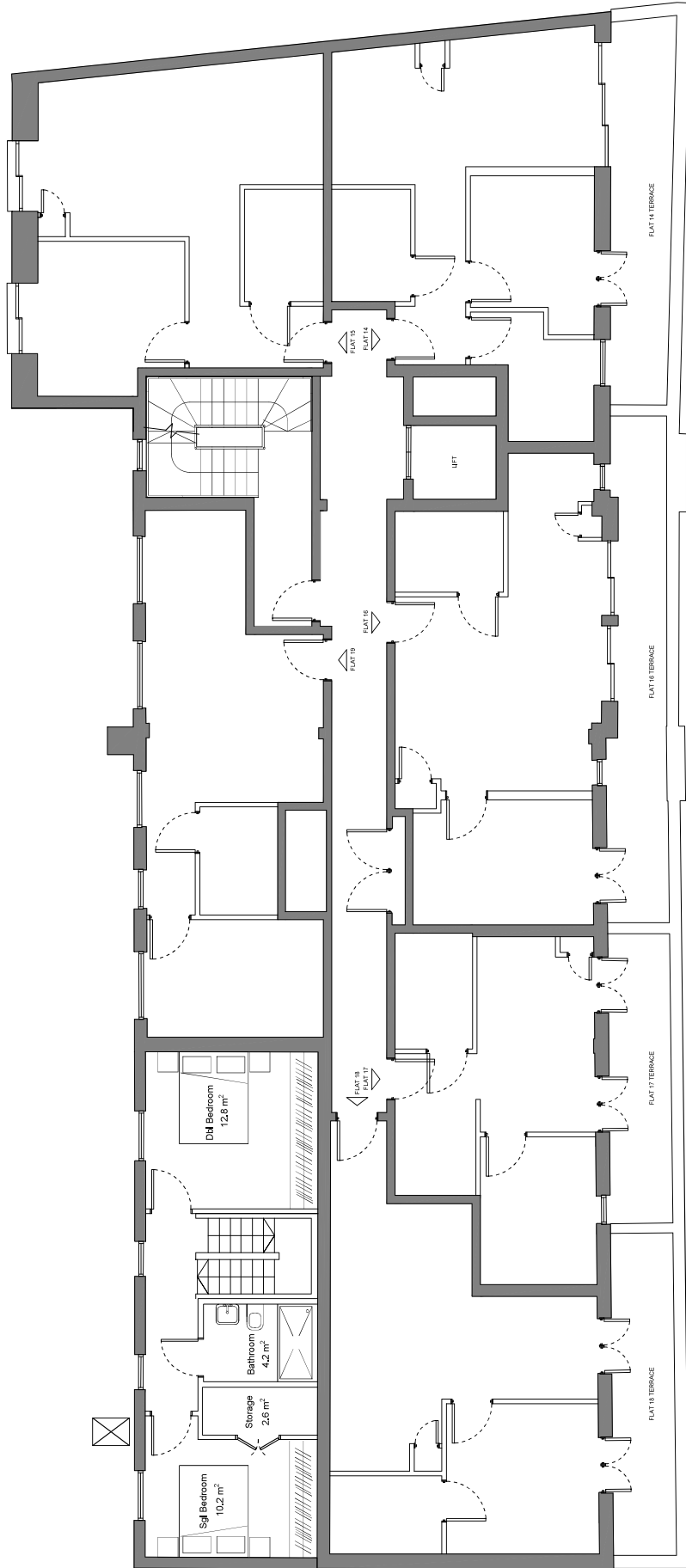
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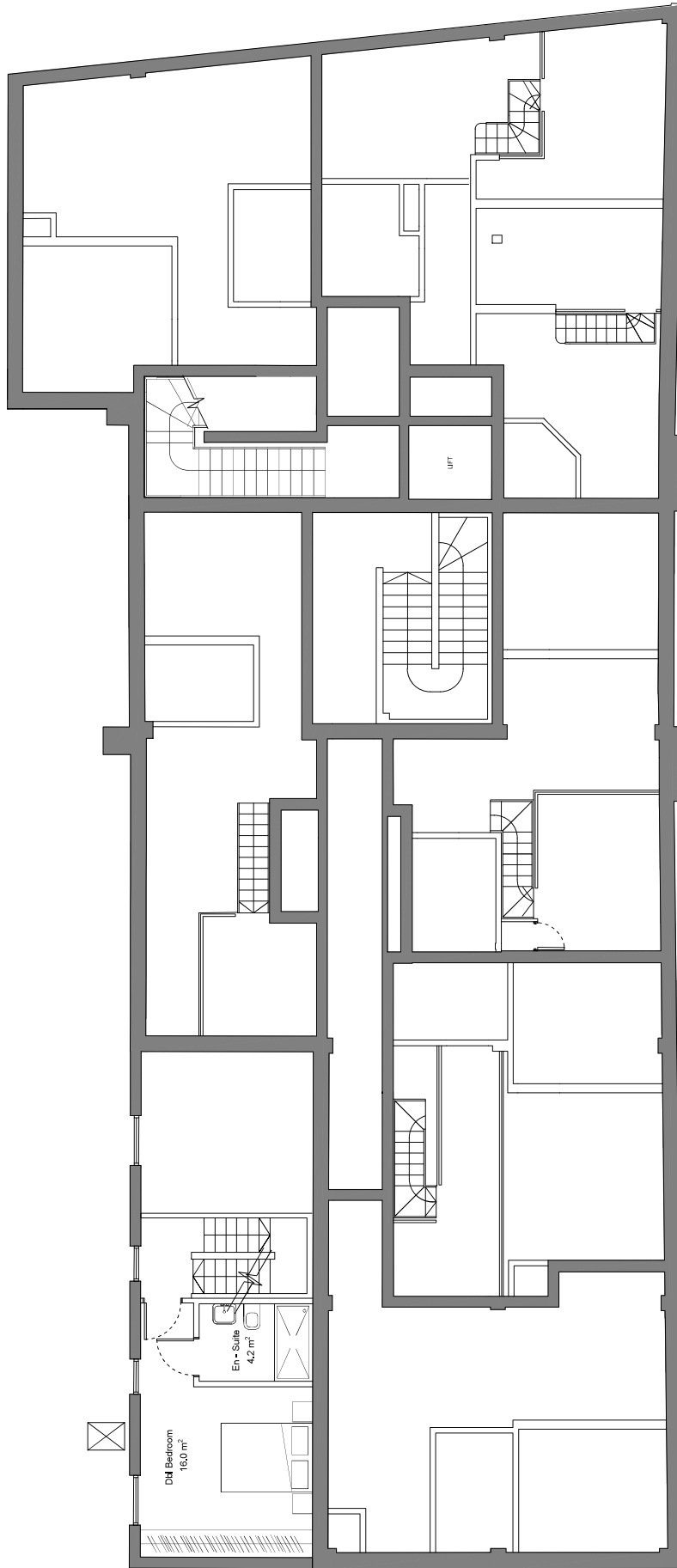
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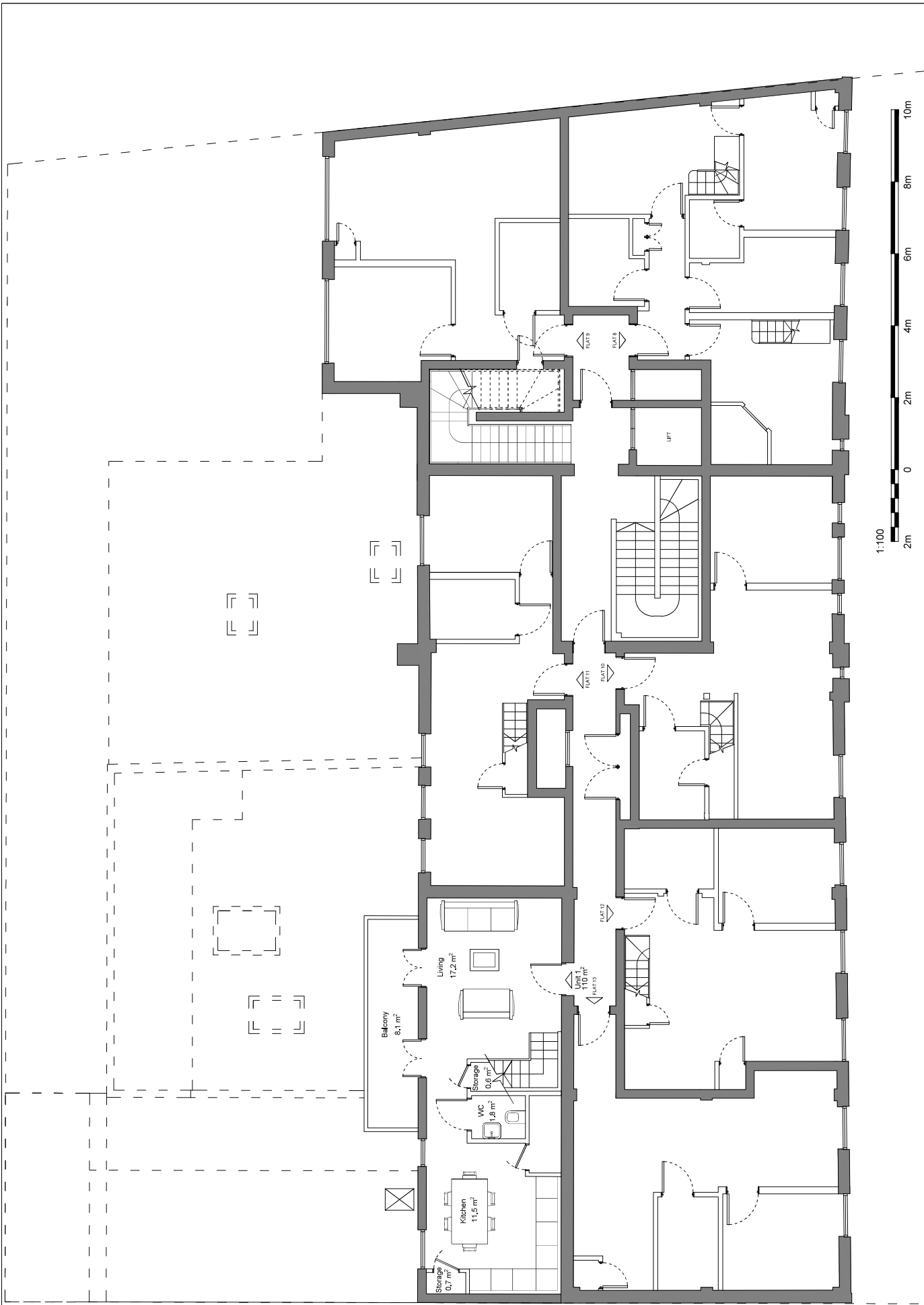
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		REV. -
CLIENT	LEOS INTERNATIONAL	

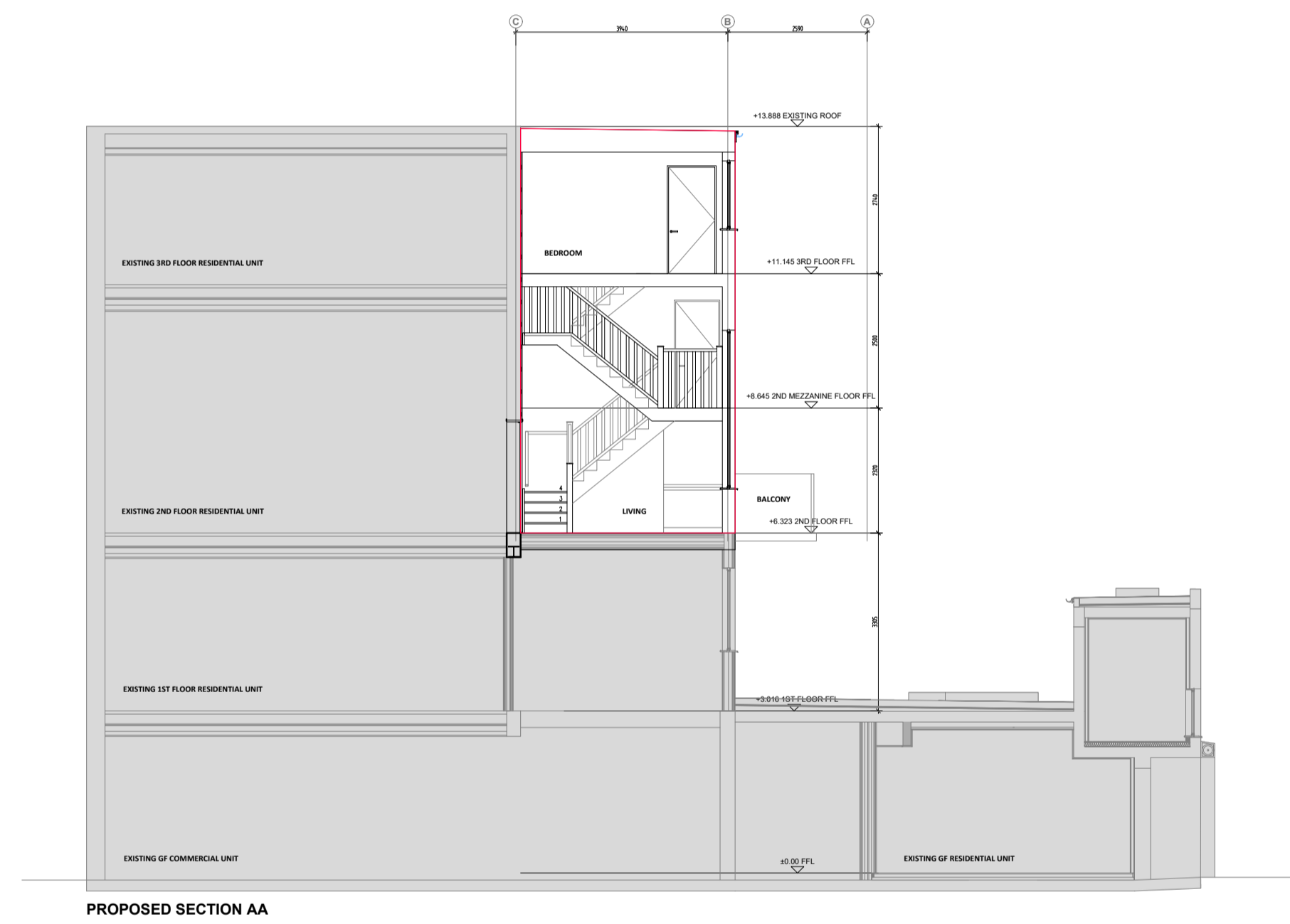
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DATE	AUG 2020
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STATUS	PLANNING	
DRAWING	PROPOSED SECTION AA	DWG NO. 213
REV.	-	-
CLIENT	LEOS INTERNATIONAL	

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PROJECT	INFill UNIT TO REAR OF 290 - 302A KINGSTON ROAD, SW20 8LX
JOB NO.	373

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PLANNING APPLICATIONS COMMITTEE
9th December 2021

Item No:

UPRN **APPLICATION NO.** **DATE VALID**

20/P3168 02/11/2020

Address/Site 290-302a Kingston Road, Raynes
Park, SW20 8LX

(Ward) Merton Park

Proposal: ERECTION OF A SINGLE
STOREY ROOF EXTENSION AND
INFILL EXTENSION FOR THE
CREATION OF 5 SELF CONTAINED
FLATS TOGETHER WITH
ASSOCIATED AMENITY AREAS,
CYCLE PARKING, REFUSE AREAS
AND ASSOCIATED WORKS.

Drawing Nos: PL-001 Rev 00 Location Plan, PL-002
Rev 00 Block Plan, Un-numbered
Proposed Ground floor plan received
18.05.2021, PL-111 Proposed first floor
plan, PL-031 Rev B Proposed Front
Elevation, PL-032 Rev B Proposed Rear
Elevation, PL-012 Rev B Proposed
second floor plan, PL-012M Rev B
Proposed Second Floor mezzanine Plan,
PL-013 Rev B Proposed Third Floor Plan,
PL-014 Rev B Proposed Fourth Floor
Plan, PL-015 Rev B Proposed Roof Floor
Plan, PL-081 Rev B Proposed Front
Visual, PL-082 Rev B Proposed Rear
Visual.

Contact Officer: Tim Lipscomb (0208 545 3496)

RECOMMENDATION

Grant Permission subject to conditions and s.106 legal agreement.

CHECKLIST INFORMATION

- Heads of Agreement: Yes, restrict parking permits.
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted:

- No
- Press notice: No
- Site notice: No
- Design Review Panel consulted: No
- Number of neighbours consulted: 403
- External consultations: No
- Conservation area: No
- Listed building: No
- Tree protection orders: No
- Controlled Parking Zone: Yes (MP2)

1. **INTRODUCTION**

- 1.1 This application is being brought to the Planning Applications Committee for determination due to the number of objections. This proposal does not qualify to be considered under any permitted development or prior approval process for the erection of extensions of up to two additional storeys to flatted blocks, as the residential use of part of the building below has been granted by Class MA of the GPDO, thereby excluding this proposal from the prior approval process. In addition, internal floor to ceiling height of the proposed floor would be higher than the existing top floor, which would also exclude the proposal from the prior approval process.

2. **SITE AND SURROUNDINGS**

- 2.1 The site is located to the southern side of Kingston Road at number 290-302a, within the Wimbledon Chase Neighbourhood Parade, 60m away from Wimbledon Chase train station. The site has an area of 0.09ha.
- 2.2 The site comprises a four-storey building, made up of three levels of residential use above ground level commercial units, the top floor is set back behind a solid parapet wall.
- 2.3 The original building was constructed in 1934. The existing third floor, roof top extension was added around 2005.
- 2.4 To the ground level, a restaurant and a gym forms the commercial frontage along Kingston Road, a crossover next to the residential entrance at number 302 provides access to the rear yard of the building, to the rear of the building is a single storey building accommodating the 'Sunshine Recovery Café' and the 'MACS Project (Community Drug Service)' with a car park for approximately 6 cars. There are three ground level residential units (3 x 1 bed) and residential parking spaces for 2 cars associated with this residential use.
- 2.5 The existing host building is rendered and off-white in colour, featuring subtle horizontal banding with two asymmetrical vertical piers and Art Deco detailing facing Kingston Road, secondary elevations are more utilitarian

in appearance. The top floor is set back by 1.5m from the dominant façade on Kingston Road.

- 2.6 The original building comprised residential and office uses. The vacant offices on the first and second floor were converted to 9 residential units in 2019. In a separate prior approval application, 3 ground level residential units were created utilising retail floor areas to the rear of the building, along with a reconfiguration of the ground floor to provide a gym and create an improvement to the shopfront. There are 22 flats in the existing building, including the three flats recently approved at ground floor level, to the rear of the site, under the prior approval process.
- 2.7 Beyond the single storey café building, located to the south of the site, are the rear gardens of residential properties in Bakers End and Chase Court.
- 2.8 To the northern side of the road is a single storey retail unit at Wimbledon Chase Station, along with main frontage buildings up to five storeys in height, with mixed commercial and residential uses.
- 2.9 The site is subject to the following planning constraints:
- Wimbledon Chase Neighbourhood Parade
 - Archaeological Priority Zone
 - Flood Zone 1
 - PTAL of 3
 - Controlled Parking Zone MP2

3. PROPOSAL

- 3.1 The proposal is for a rear infill extension and rooftop extension to provide five flats, each with a terrace or balcony. The rear infill extension at 2nd, 3rd and 4th floor level would effectively 'square-off' the existing building, with the proposed rooftop extension standing directly above the existing rooftop floor (which is set back approximately 1.5m from the main building below). The result would be a two-storey roof extension above the original building (i.e. on additional floor above the existing rooftop extension).
- 3.2 Facing materials would match the existing, continuing the Art Deco format of the floors below. Fenestration would align with the existing windows below, in the form of windows or balcony openings. Works to building below have already been carried out as part of recent refurbishing works.
- 3.3 The building is currently served by two stairwells. The proposed rooftop extension would be accessed via an extension to one of these stairwells, with an extension to the existing single lift shaft also.

- 3.4 Units 2 & 5 would be dual aspect, with outlook to the front and rear of the building, Infill Unit 1 would be south facing single aspect. Unit 3 would be single aspect south facing. North facing, single bedroom Unit 4 would feature an inset window return leading onto a balcony to achieve a degree of dual aspect outlook.
- 3.5 8 cycle parking spaces at ground floor level, within the footprint of the existing building, formed by internal alterations to enlarge the existing bike store.
- 3.6 Additional bin store provided at ground floor level, within the footprint of the existing building, formed by internal alterations to enlarge the existing meter cupboard. The application documents set out that as an improvement to the existing ground floor, the new bin store would have capacity to collect waste from the three ground floor residential units to the rear (in addition to the proposed rooftop units), which are currently served by an external bin store in the rear.
- 3.7 A concurrent standalone planning application for Unit 1 (3B x 5P) at 2nd, 3rd and 4th floor, in the form of an infill extension is currently under consideration (application ref. 20/P3165) and reported on this agenda. The proposed layout for this residential unit is included on the proposed plans as part of this application but also as a standalone proposal. The applicant has submitted two separate applications in this regard.
- 3.8 In terms of servicing a refuse vehicle would service from the main road, as is the existing situation for residential properties.
- 3.9 The proposal would provide the following accommodation:

	Type	Habitable rooms	GIA (sqm)	External amenity space (sqm)
2nd-4th Floor Unit 1	3b/5p	5	110	8.1
Fourth floor Unit 2	2b/4p	3	79.8	6.8
Unit 3	1b/2p	2	50.8	6.82
Unit 4	1b/2p	2	50.5	5.6
Unit 5	2b/4p	4	84.6	8.7

- 3.10 Significant amendments have been made to this scheme throughout the course of the application. The key changes relate to the external building materials, roof form and the omission of the previously proposed projecting stairwell to the rear elevation.

3.11 The application is accompanied by the following supporting documents:

- Background Noise Survey and Plant Assessment
- Design and Access Statement
- Energy Statement

4. PLANNING HISTORY

4.1 There is extensive planning history on the site, albeit the majority is not relevant to the current proposal. The most relevant history is summarised as follows:

1999 to 2010 - various planning permissions relating to alterations and extensions and advertisements to commercial units

03/P1564 - RETENTION OF SINGLE STOREY REAR EXTENSION TO THE EXISTING RESTAURANT. Application Granted 08-09-2003.

04/P0342 - ERECTION OF THIRD FLOOR EXTENSION TO THE BUILDING TO PROVIDE 6 X 1 BEDROOM FLATS. Grant Permission subject to Conditions 30-04-2004.

13/P3497 - PRIOR APPROVAL IN RELATION TO THE CHANGE OF USE OF FIRST, SECOND AND THIRD FLOOR OFFICES (CLASS B1) TO RESIDENTIAL (CLASS C3) CREATING 7 x SELF-CONTAINED FLATS. Prior Approval Granted 23-12-2013.

18/P2570 - PRIOR APPROVAL FOR CHANGE OF USE FROM OFFICE USE (CLASS B1) TO 9 DWELLINGS (USE WITHIN CLASS C3). Prior Approval Not Required 17-12-2018.

19/P2065 - APPLICATION TO DETERMINE WHETHER PRIOR APPROVAL IS REQUIRED IN RESPECT OF THE PROPOSED CHANGE OF USE FROM RETAIL TO RESIDENTIAL, TO PROVIDE AN ADDITIONAL 3 RESIDENTIAL UNITS. Prior Approval Granted 07-04-2020

19/P3073 - APPLICATION FOR CHANGE OF USE OF PART OF RECONFIGURED GROUND FLOOR FOR USE AS A GYM. Grant Permission subject to Conditions 08-11-2019

20/P0030 - APPLICATION FOR ADVERTISEMENT CONSENT FOR THE DISPLAY OF 2 INTERNALLY ILLUMINATED FASCIA SIGNS, LOGO SIGN, FLAG SIGN AND VINYL WINDOW SIGNS. Grant Advertisement Consent 06-02-2020.

20/P0494 - APPLICATION TO VARY CONDITION 4 (OPENING HOURS) ATTACHED TO LBM PLANNING PERMISSION 19/P3073, RELATING TO THE CHANGE OF USE OF PART OF RECONFIGURED GROUND FLOOR FOR USE AS A GYM. Grant Variation of Condition 30-03-2020

20/P3168 – ERECTION OF A SINGLE STOREY ROOF EXTENSION AND INFILL EXTENSION FOR THE CREATION OF 5 SELF CONTAINED FLATS TOGETHER WITH ASSOCIATED AMENITY

AREAS, CYCLE PARKING, REFUSE AREAS AND ASSOCIATED WORKS. Pending decision.

5. **RELEVANT POLICIES.**

5.1 The key policies of most relevance to this proposal are as follows:

5.2 **National Planning Policy Framework (2021)**

2. Achieving sustainable development
4. Decision-making
5. Delivering a sufficient supply of homes
6. Building a strong, competitive economy
7. Ensuring the vitality of town centres
8. Promoting healthy and safe communities
9. Promoting sustainable transport
11. Making effective use of land
12. Achieving well-designed places
14. Meeting the challenge of climate change, flooding and coastal change

5.3 **London Plan (2021):**

- D1 London's form, character and capacity for growth
- D2 Infrastructure requirements for sustainable densities
- D3 Optimising site capacity through the designed approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D8 Public realm
- D11 Safety, security and resilience to emergency
- D12 Fire safety
- D13 Agent of Change
- D14 Noise
- H1 Increasing housing supply
- H10 Housing size mix
- S4 Play and informal recreation
- HC1 Heritage conservation and growth
- G5 Urban greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- SI 1 Improving air quality
- SI 2 Minimising greenhouse gas emissions
- SI 3 Energy infrastructure
- SI 4 Managing heat risk
- SI 5 Water infrastructure
- SI 7 Reducing waste and supporting the circular economy
- SI 8 Waste capacity and net waste self-sufficiency
- SI 10 Aggregates
- SI 13 Sustainable drainage
- T1 Strategic approach to transport
- T2 Healthy Streets
- T3 Transport capacity, connectivity and safeguarding
- T4 Assessing and mitigating transport impacts
- T5 Cycling

T6 Car parking
T6.1 Residential parking
T6.3 Retail parking
T7 Deliveries, servicing and construction
T9 Funding transport infrastructure through planning

5.4 Merton Local Development Framework Core Strategy – 2011 (Core Strategy)

Relevant policies include:

CS 8 Housing choice
CS 9 Housing provision
CS 11 Infrastructure
CS 13 Open space, leisure and nature conservation
CS 14 Design
CS 15 Climate change
CS 17 Waste management
CS 18 Transport
CS 19 Public transport
CS 20 Parking servicing and delivery

5.5 Merton Sites and Policies Plan – 2014 (SPP)

Relevant policies include:

DM H2 Housing mix
DM H3 Support for affordable housing
DM O2 Nature conservation, Trees, hedges and landscape features
DM D1 Urban Design
DM D2 Design considerations
DM D3 Extensions and alterations to existing buildings
DM EP2 Reducing and mitigating noise
DM EP3 Allowable solutions
DM EP4 Pollutants
DM F2 Sustainable urban drainage systems (SuDS) and; Wastewater and Water Infrastructure
DM T2 Transport impacts of development
DM T3 Car parking and servicing standards
DM T4 Transport infrastructure

5.6 Supplementary planning considerations

National Design Guide – October 2019
Draft Merton Local Plan
DCLG: Technical housing standards - nationally described space standard March 2015
Merton's Design SPG 2004
GLA Guidance on preparing energy assessments – 2018
London Environment Strategy - 2018
Mayor's Air Quality Strategy - 2010
Mayor's SPG - Housing 2016
Mayor's SPG – Sustainable Design and Construction 2014
Mayor's SPG – Character and Context 2014
Mayor's SPG – Play and Informal Recreation 2012
LB Merton – Air quality action plan - 2018-2023.
LB Merton - Draft Sustainable Drainage (SUDS) Design and Evaluation Supplementary Planning Document (SPD) 2018

6. CONSULTATION

6.1 Press Notice, 21-day site notice procedure and individual letters to neighbouring occupiers. Representations have been received from 9 addresses, raising objection on the following grounds:

Originally submitted scheme:

- Over population and overcrowding concerns.
- Canyon effect to the street
- Height and massing is inappropriate. It would become the tallest building on the street and it would look bizarre and would not fit into the local context and townscape.
- Concerns regarding metallic external materials
- Adding to existing bin and bike storage may result in facilities that are not fit for purpose. Also queries as to how this enlargement would take place whilst residents are using the bike store.
- Query whether existing lift is fit for purpose for an additional floor, as it is already very slow.
- Query whether affordable housing contributions are required.
- Leaseholders have not agreed to an additional floor of accommodation directly above and were told there would be no 'Phase 2'.
- Concerns over disturbance from construction process, including noise, concerns over safety of living in or adjacent to a building site, impact of scaffolding blocking sunlight, air quality impact, mental health impact, all compounded by Covid 19 and increased working from home.
- Queries relating to building insurance, re-mortgaging concerns, compensation to existing top floor occupiers and owners and queries relating to service charges.
- Current issues with water supply to the building.
- Loss of light and privacy.
- Devaluation of existing residential units, particularly the rooftop units.
- Concerns regarding external stairwell blocking light and outlook.
- Safety concerns relating to proposed cladding of the top floor.

6.2 Since the application was amended on 19/10/2021, a further 5 objections have been received (in total, 14 objections have been received), objecting on the issues outlined above and the following new grounds:

- Soundproofing in existing building is not adequate.

- The massing and height of the proposed building are even greater than before.
- Height would set an undesirable precedent.
- Concerns relating to sewage infrastructure.
- Concern that construction process would cause disturbance to residents but also the café to the rear of the site and ground floor businesses.
- Concern that proposed balconies are directly above existing balconies and thus blocking light and air circulation.
- Concern that additional units would result in additional parked cars in neighbouring streets thereby exacerbating the existing parking problem locally.

6.4 LBM Environmental Health Officer:

Should you be minded to approve the application then I would recommend the following planning conditions:-

1) Due to any potential impact of the surrounding locality on the development the recommendations to protect noise intrusion into the residential dwellings as specified in the Bloc Consulting, Background Noise Survey and Noise Assessment Report Ref: 26593REP – 2B, dated 7/9/2020 shall be implemented as a minimum standard. A post completion noise assessment to ensure compliance, with the new plant in operation shall be undertaken and submitted to the LPA. The criteria in the aforementioned report shall also apply for the occupiers of the existing and proposed residential property.

2) Any altered ducting/fans shall be fitted with suitable anti-vibration mounts to prevent structure borne vibration/noise.

4) No development shall take place until a Demolition and Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the demolition and construction period.

The Statement shall provide for:

- hours of operation
- the parking of vehicles of site operatives and visitors
- loading and unloading of plant and materials
- storage of plant and materials used in constructing the development
- the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate
- wheel washing facilities
- measures to control the emission of noise and vibration during construction/demolition.
- demonstration to show compliance

-measures to control the emission of dust and dirt during construction/demolition

-a scheme for recycling/disposing of waste resulting from demolition and construction works

Reason: To protect the amenities of the occupiers in the adjoining residential premises and future occupants.

6.5 LBM Highway Officer:

No objection, subject to a condition (H09) relating to the parking of construction vehicles and informatives relating to works on the public highway (INF9 and INF12)

6.6 LBM Transport Officer:

Access

General access to the additional unit remains the same as the existing building.

PTAL

The site has a PTAL of 3, which is considered to be a moderate rating. A moderate PTAL rating suggests that it is possible to plan regular journeys such as daily work trips or trips to and from school using public transport.

Directly across from the site is Wimbledon Chase station. Wimbledon Chase railway station is served by Thameslink trains.

Car Parking

There is no car parking for the development.

The site is within Controlled Parking Zones of the adjoining roads.

To overcome the potential impact of car parking on local roads, the applicant should be willing to accept a permit-free agreement which restricts future occupiers from obtaining a parking permits to park on local streets. This can be secured by through a Unilateral Undertaking.

Cycle Parking

The existing cycle store will be reconfigured and extended to create 8 additional private and secure cycle parking spaces. The cycle parking provision satisfies the London Plan Standards.

Refuse

The proposed additional bin store will be accessed from the same location as the existing bin store serving the existing residential units.

Recommendation: Raise no objection subject to:

- The applicant enters into a Unilateral Undertaking which would restrict future occupiers of the unit from obtaining an on-street residential parking permit to park in the surrounding controlled parking zones to be secured by via S106 legal agreement.

- Condition requiring cycle parking (secure & undercover).
- Refuse storage as shown maintained.
- Demolition/Construction Logistic Plan (including a Construction Management plan in accordance with TfL guidance) should be submitted to LPA for approval before commencement of work.

6.7 LBM Waste Management:

No objection to proposed arrangements.

6.8 LBM Urban Design Officer (comments in relation to amended scheme):

This is moving in the right direction. The new top part is now clearly related to the remainder of the building and is suitably subservient to it. I prefer the option without the side setbacks as they would be non-contextual as the building is part of a terrace and not a free-standing building. The window pattern is still lacking in a strong rhythm and this could be strengthened, and the continuation of the lower protruding off-centre element remains weak and, although there, could be strengthened. Internally these are single aspect dwellings on a central double loaded corridor and the units are very narrow. Some internal layouts show elements that are not compliant with standards and regulations - eg. positioning of dining tables too close to kitchen areas, although a number of the bedrooms are well proportioned.

7. PLANNING CONSIDERATIONS

7.1 Key Issues for consideration

7.1.1 The key issues in the assessment of this planning application are:

- Principle of development
- Residential density
- Design and impact upon the character and appearance of the area
- Impact on neighbouring amenity
- Standard of accommodation
- Transport, highway network, parking and sustainable travel
- Safety and Security considerations
- Sustainability
- Air quality
- Flooding and site drainage
- S.106 requirements/planning obligations
- Response to issues raised in objection letters

7.2 Principle of development

7.2.1 Policy H1 of the London Plan 2021 states that development plan policies should seek to identify new sources of land for residential development including intensification of housing provision through development at higher densities. Core Strategy policies CS8 & CS9 seek to encourage proposals for well-designed and conveniently located new housing that will create socially mixed and sustainable neighbourhoods through physical regeneration and effective use of space.

7.2.2 Policy H1 of the London Plan 2021 has set Merton a ten-year housing target of 9,180 new homes. By providing 5 new units the proposals would make a contribution to meeting that target.

7.2.3 The proposal to intensify residential use to this site is considered to respond positively to London Plan and Core Strategy planning policies to increase housing supply and optimising sites. Intensification of housing on existing sites via extension has the potential to set up tensions with other planning policies including design. Assessment of impact on design and other planning considerations is explored below.

7.3 Residential density

7.3.1 London Plan policy D3, Optimising site capacity through the design-led approach, sets out that higher density developments should generally be promoted in locations that are well connected to jobs, services, infrastructure and amenities by public transport, walking and cycling.

7.3.2 The London Plan explains that comparing density between schemes using a single measure can be misleading as it is heavily dependent on the area included in the planning application site boundary as well as the size of residential units.

7.3.3 The existing residential density across the site is 244 units per hectare, with the proposed density being 300 units per hectare. Whilst residential density can be a useful tool identifying the impact of a proposed development, officers would advise Members to primarily consider the impact on the character of the area and the amenity of neighbouring occupiers in this assessment.

7.4 Design and impact upon the character and appearance of the area

7.4.1 The NPPF, London Plan policies D3 and D4, Core Strategy policy CS 14 and SPP Policy DM D2 require well designed proposals which make a positive contribution to the public realm, are of the highest quality materials and design and which are appropriate in their context. Thus, development proposals must respect the appearance, materials, scale, bulk, proportions and character of their

surroundings. The context of this part of Kingston Road into which the proposals would be integrated has evolved over the last decade with development on the north side creating, arguably, a stronger sense of identity and sense of place, following redevelopment of single storey units on the north side of the road.

- 7.4.2 The existing building exhibits strong Art Deco architecture and it is important that any addition to the building does not detract from the form and proportions of the building.
- 7.4.3 The originally submitted application proposed a more bulky, less sympathetic addition, which included a cumbersome addition to house a new stairwell to the rear of the building. Following detailed discussions with officers and feedback from the Urban Design Officer the application has been amended to include a much more lightweight appearing structure which could be considered as better complementing the existing building in terms of form, fenestration and materials.
- 7.4.4 The proposed roof extension would effectively result in two additional floors over the three floors of the original building. The setback from the floors below would lessen the impact of the proposals when seen from street level opposite and reduce the potential for the proposals to appear increasingly uncomfortable and disproportionate in terms of scale and impact on the existing building or the streetscene.
- 7.4.5 The building is visually prominent in the streetscene with a bold and distinct front elevation. The horizontal emphasis and the width of the frontage are such that the building exhibits a greater scale than others in the immediate vicinity. The additional height is considered to be better accommodated with this already wide building. As a matter of judgement it may be considered that the resultant effect would be one of a proportionate building.
- 7.4.6 The infill extension to the rear has a much lesser impact on visual amenity and would effectively 'square-off' the existing building and this element of the proposals would assist in tidying up the rear elevation of the building with a unified appearance.
- 7.4.7 The proposed addition would continue the existing pattern of fenestration and pallet of materials. Officers acknowledge that a stronger continuation of the existing Art Deco features could have been incorporated into the overall design of the remodelled and extended building. However, the building is neither statutorily nor locally protected and the NPPF discourages decision makers from adopting an overly prescriptive approach to design where policy or other planning considerations do not warrant this. It may be considered that the proposal has responded adequately to its immediate context and the additions would not have an adverse impact on the

appearance of the existing building such as to warrant refusal.

7.5 Impact on neighbouring amenity

7.5.1 Policy DM D2 seeks to ensure that development does not adversely impact on the amenity of nearby residential properties.

7.5.2 Privacy and overlooking

7.5.3 The proposed rooftop extension would be separated from neighbouring properties to the rear (semi-detached dwellings at Bakers End) by the same extent as the existing building below (23.2m to the boundary and over 30m to the closest windows to properties at Bakers End). The rooftop extension would be visibly prominent when viewed from the gardens and rear windows of some neighbouring properties but due to the separation distances it is concluded that no objection based on loss of privacy or overlooking could be reasonably substantiated.

7.5.4 Views to the sides of the building would be minimal as no windows are provided to the sides. Therefore, there would not be a harmful level of overlooking to properties to the side.

7.5.5 Any views from the frontage of the building would not result in a material loss of privacy as they would face the mixed use buildings opposite as in a traditional street layout with fronts looking towards fronts.

7.5.6 The proposed flats would not result in material harm to the existing flats below by way of overlooking or loss of privacy as no direct views would be provided.

7.5.7 Loss of light, shadowing and visual intrusion

7.5.8 The properties to the south of the site on Bakers End would not be particularly affected by loss of light issues as the site is directly to the north. As mentioned above, the proposed rooftop addition would make the building more visually prominent but not to the extent that it could be argued to be materially harmful in terms of visual intrusion or loss of outlook to properties on Bakers End.

7.5.9 The proposed addition would have some limited impact on properties at upper levels opposite the site. However, Kingston Road is wide in this location, with substantial width pavements; the distance between the residential flats opposite and the proposed roof extension would be approximately 28m and given this separation distance, the limited increase in height is not considered to result in a material loss of amenity to the occupiers of the properties opposite.

7.5.10 The proposed rooftop addition would increase the bulk and massing of the existing building but there is not considered to be a materially harmful impact to the flatted properties to the side of the site (western side at 304-312) due to the existing rear outrigger at No.304 mitigating for the impact of the rooftop addition.

7.5.11 The proposed rooftop addition, once in situ, would have a very limited impact on the floors below, as the rooftop extension does not enlarge the footprint of the floors below. It is noted that objection has been raised in that proposed balconies would be positioned above windows serving existing residential units below. It is noted that the balconies would be positioned above windows of residential units below, the balconies would be separated from the top of these windows by approximately 80cm with a 1.5m rear projection. Whilst the underside of the balconies would be visible from the windows below, levels of light and outlook would not be significantly diminished and officers consider that a reason for refusal on this ground could not reasonably be substantiated.

7.5.12 The proposed rear infill would increase the bulk and massing of the building but it would not increase the footprint of the building (other than by way of projecting balconies) and given the separation distances to neighbouring properties (measurement taken from outer edge of balcony - 21.7m to the boundary and over 30m to the closest windows to properties at Bakers End). it is considered that the proposed development would not result in material harm to neighbouring amenity.

7.5.13 Taken as a whole, the proposed rooftop addition and rear infill would increase the bulk and massing of the building but it would not increase the footprint of the building (other than by way of projecting balconies) and given the separation distances to neighbouring properties it is considered that the proposed development would not result in material harm to neighbouring amenity.

7.6 Standard of Accommodation

7.6.1 Policy D6 of the London Plan states that housing developments should be of the highest quality internally and externally. New residential development should ensure that it reflects the minimum internal space standards (specified as Gross Internal Areas).

7.6.2 The proposed units would meet or exceed the minimum GIA set out in the London Plan.

7.6.3 The amount of private external amenity space provided would meet or exceed the minimum requirements of the London Plan and no objection is raised in this regard.

7.6.4 The provision of external amenity space is considered to be acceptable.

- 7.6.5 The detailed comments of the Urban Design Officer, in relation to the position of dining tables on the layout plans, are noted. However, the room layouts allow for these tables to be positioned further from the kitchen areas and thereby the layouts would follow London Plan housing guidance.
- 7.6.6 The existing building layout features a number of single aspect units, with all units on the 1st, 2nd and 3rd floors being single aspect (north or south facing). The proposed layout for the new upper floor improves on this arrangement significantly but the new infill unit would be single aspect, with a view to the south across three floors. The two largest units on the top floor would be fully dual aspect with outlooks to the front and rear. Two of the 1 bedroom units on the top floor would be single aspect, one of these would be north facing. In order to mitigate for the impact of this north facing single aspect unit the applicant has incorporated an inset balcony allowing for greater light penetration and outlook. Whilst north facing single aspect units are not encouraged, in this case the layout is a significant improvement over the floors below and on balance, the proposal would result in a satisfactory standard of accommodation for future occupiers.

7.6.7 The standard of accommodation is considered to be acceptable.

7.7 Transport, highway network, parking and sustainable travel

- 7.7.1 Policy T6 of the London Plan states that Car-free development should be the starting point for all development proposals in places that are (or are planned to be) well-connected by public transport. At a local level Policy CS20 requires developers to demonstrate that their development will not adversely affect on-street parking or traffic management. Policies DMT1-T3 seek to ensure that developments do not result in congestion, have a minimal impact on existing transport infrastructure and provide suitable levels of parking.
- 7.7.2 The proposed development would provide five new dwellings. The site is within a Controlled Parking Zone and therefore, in order to minimise the impact on the local highway network and to minimise impact on parking pressure, officers advise that the application should be subject to a s.106 agreement to preclude the issuing of parking permits to future occupiers.
- 7.7.3 The proposed development would provide for suitable levels of cycle parking in an accessible location and would meet London Plan requirements.

7.7.4 Subject to legal agreement and conditions, the proposed development is considered to be acceptable in term of transport and highway impacts.

7.8 Refuse storage and collection

7.8.1 Policies SI8 and SI 10 of the London Plan and policy CS 17 of the Core Strategy requires details of refuse storage and collection arrangements.

7.8.2 A storage area for refuse has been indicated on the ground floor, which provides suitable access to residents and for the transportation of refuse for collection. It is considered this arrangement would be acceptable and a condition requiring its implementation and retention will be included to safeguard this.

7.9 Safety and Security considerations

7.9.1 Policy DMD2 sets out that all developments must provide layouts that are safe, secure and take account of crime prevention and are developed in accordance with Secured by Design principles.

7.9.2 The proposed flats would be accessed via the existing stairwell and entrance doors as the existing flatted units in the building. This is an improvement over the units granted prior approval at ground floor level, which are accessed via the rear of the site (however, safety and security concerns cannot be taken into account in the prior approval assessment to the extent that it can in a planning application). The current proposal would also consolidate bin storage across the site, which reduces the need for people to enter the rear part of the site. Therefore, the proposal is considered to be acceptable in terms of safety and security considerations. The proposal is considered to be acceptable in terms of safety and security considerations.

7.10 Sustainability

7.10.1 London Plan policies SI 2 to SI 5 and CS policy CS15 seek to ensure the highest standards of sustainability are achieved for developments which includes minimising carbon dioxide emissions, maximising recycling, sourcing materials with a low carbon footprint, ensuring urban greening and minimising the usage of resources such as water.

7.10.2 Subject to condition to secure the necessary details, the proposal is considered to be acceptable in terms of sustainability and climate change considerations.

7.11 Air quality and potentially contaminated land

7.11.1 The whole of Merton is an Air Quality Management Area (AQMA).

7.11.2 The London Plan requires both major and minor development to be air quality neutral and in light of Merton's recently published Air Quality Action Plan, which seeks to minimise emissions from gas boilers and minimise the levels of localised PMs (Particulate Matter) and NO₂ throughout the construction phase, it is important that the impact on air quality is minimised. Therefore, in addition to conditions relating to energy usage, officers recommend conditions relating to the construction process and air quality.

7.12 Flooding and site drainage

7.12.1 Policy SI 13 of the London Plan (Sustainable drainage) sets out that development proposals should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible. There should also be a preference for green over grey features.

7.12.2 The site is within Flood Zone 1 (low probability of flooding) and is not within a critical drainage area. However, notwithstanding that, the final scheme should include details of a Sustainable Urban Drainage System and demonstrate a sustainable approach to the management of surface water on site. This matter can be satisfactorily addressed by way of condition and officers raise no objection in this regard.

7.13 S.106 requirements/planning obligations

7.13.1 It will be necessary for the development to be parking permit free, by way of legal agreement.

7.13.2 The proposed development would be subject to the Community Infrastructure Levy (CIL). This would require a contribution of £220 per additional square metre of floor space to be paid to Merton Council and an additional £60 per additional square meter to be paid to the Mayor. Further information on this can be found at:
<http://www.merton.gov.uk/environment/planning/cil.htm>

7.13.3 There is no requirement for affordable housing, as, while the number of dwellings on the site added since 2013 would exceed the 10 unit threshold for affordable housing, this has been achieved via number of separate planning submissions.

7.14 Response to issues raised in objection letters

7.14.1 The majority of uses raised by objectors are addressed in the body of this report and a number of issues relate to the original application scheme, rather than the amended scheme. However, in addition, the following comments are provided:

- Issues relating to disturbance throughout the construction process cannot reasonably amount to a reason for refusal but safeguarding conditions are recommended to minimise any adverse impact.
- Affordable housing contributions are only required on major schemes (10 units or above), so this development is not required by adopted policy to make any provision.
- The maintenance of the lift, sewage infrastructure and water supply to the building are covered by separate legislation (such as Building regulations) and is not a matter that is addressed under planning policies.
- Any cladding of the top floor would be required to meet relevant Building regulation requirements (along with means of evacuation) and is not a matter that can be considered under this minor planning application (only major planning applications are required to provide a Fire Safety Statement).
- Issues of whether leaseholders have agreed to additional floors above is a private, civil matter and does not affect the planning assessment of the proposal. Planning permission does not convey an ultimate right to develop and if there are other legal obstacles the granting of planning permission may not necessarily overrule these legal obstacles.
- Issues relating to re-mortgaging, building insurance and service charges are not matters that can be considered under the planning assessment.
- Some degree of disturbance caused by the construction process is inevitable. However, this cannot reasonably amount to a reason for refusal provided reasonable efforts are made to minimise and mitigate for the impact. Therefore, conditions for method of construction statements are sought which would detail how the impacts of the construction process are to be minimised. Any compensation sought by existing occupiers would be a private civil matter – in planning terms, provided the impact is minimised as far as possible there would be no reasonable grounds for objection.
- The impact on property values is not a material planning consideration (however, members are advised that the impact on visual and residential amenity are material considerations that can be taken into account).
- Issues of soundproofing would be addressed through the Building Regulations as opposed to at the planning stage.
- Concerns relating to displacement parking in neighbouring streets has been carefully considered but officers conclude that it would not be reasonable to withhold planning permission on this basis, as the application would be subject to a restriction on the issuing of parking permits by way of s.106 which would meet the relevant policy requirements. In addition, there are legislative pathways that would allow for consideration of parts of the borough to be included in a CPZ in the future were the demand established.

- 8.1 The proposal would provide five additional units of varying sizes, all with external amenity space with an improved layout to the existing floors below, which would contribute to meeting the borough's overall housing targets as set out in the New London Plan.
- 8.2 The form and appearance of the proposed addition may reasonably be considered satisfactory and to complement the existing building. Coupled with a set back from the front elevation to the original building, the impact of the proposals both on the building and streetscene would not appear unduly discordant within the streetscene despite the increased height.
- 8.3 The proposal, as a result of the increased height over the existing, would result in some limited impact on properties to the front and rear of the site. However, as explained in this report, the impact is considered to be minimal and would not warrant a reason for refusal in this urban context.
- 8.4 Officers consider that the proposal is acceptable in planning terms, subject to conditions and a legal agreement and therefore the recommendation is for approval.

RECOMMENDATION

Grant planning permission subject to the completion of a S106 agreement securing the following:

- Restrict parking permits for all new units.
- The applicant covering the Council's reasonable costs of all work in drafting S106 and monitoring the obligations.

And the following conditions:

1. Time limit
2. Approved Plans
3. B1 External Materials to be Approved
4. C07 Refuse & Recycling (Implementation)
5. C08 No Use of Flat Roof
6. Details of External Lighting Scheme
7. H06 Cycle Parking (Implementation)
8. H10 Construction Vehicles, Washdown Facilities etc (major sites)
9. H12 Delivery and Servicing Plan
10. H13 Demolition/Construction Logistics Plan, including a Construction Management Plan to be submitted to cover:
 - hours of operation
 - the parking of vehicles of site operatives and visitors
 - loading and unloading of plant and materials

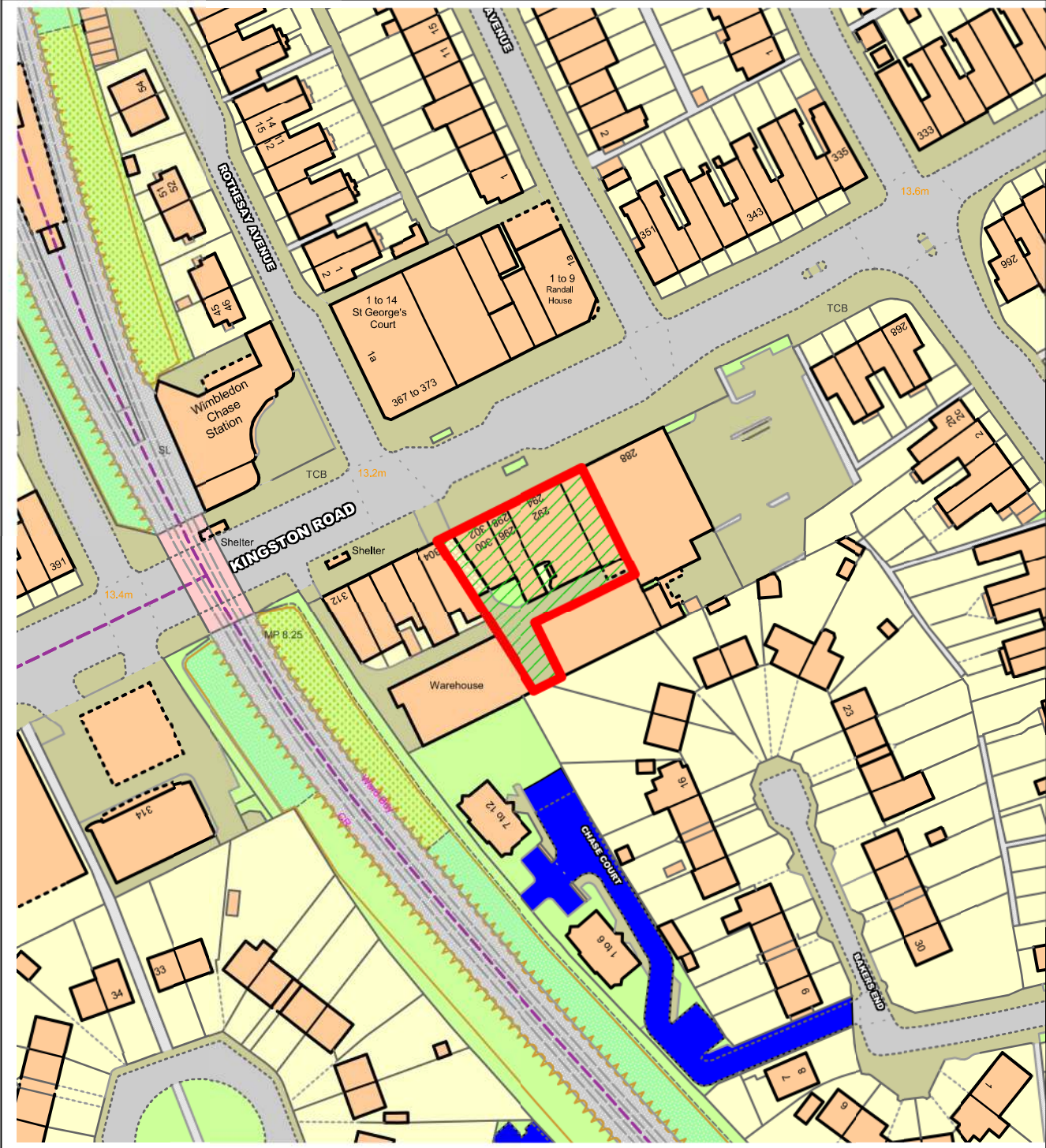
- storage of plant and materials used in constructing the development
 - the erection and maintenance of security hoarding including decorative -displays and facilities for public viewing, where appropriate
 - wheel washing facilities
 - measures to control the emission of noise and vibration during construction/demolition.
 - demonstration to show compliance with BS5228
 - measures to control the emission of dust and dirt during construction/demolition
 - a scheme for recycling/disposing of waste resulting from demolition and construction works
11. L2 Sustainability - Pre-Commencement (New build residential)
 12. A Non Standard Condition: The development shall be implemented only in accordance with the recommendations to protect noise intrusion into the residential dwellings and plant noise criteria as detailed in the submitted Background Noise Survey and Plant Assessment.
 13. A Non Standard Condition: Noise levels, (expressed as the equivalent continuous sound level) LAeq (10 minutes), from any fixed external new plant/machinery shall not exceed LA90-10dB at the boundary with any residential property or noise sensitive premises.
 14. A Non Standard Condition: All Non-road Mobile Machinery (NRMM) used during the course of the development that is within the scope of the Greater London Authority 'Control of Dust and Emissions during Construction and Demolition' Supplementary Planning Guidance (SPG) dated July 2014, or any subsequent amendment or guidance, shall comply with the emission requirements therein.
 15. Non Standard Condition 1. Prior to the commencement of development, including demolition, a detailed Demolition and Construction Environmental Management Plan (DCEMP) shall be submitted to and approved in writing by the Local Planning Authority. The DCEMP shall include:
 - a) An Air quality management plan that identifies the steps and procedures that will be implemented to minimise the creation and impact of dust and other air emissions resulting from the site preparation, demolition, and groundwork and construction phases of the development. To include continuous dust monitoring.
 - b) Construction environmental management plan that identifies the steps and procedures that will be implemented to minimise the creation and impact of noise, vibration, dust and other air emissions resulting from the site preparation, demolition, and groundwork and construction phases of the development.

2. The development shall not be implemented other than in accordance with the approved scheme, unless previously agreed in writing by the Local Planning Authority.

Reason: To ensure the development does not raise local environment impacts and pollution.

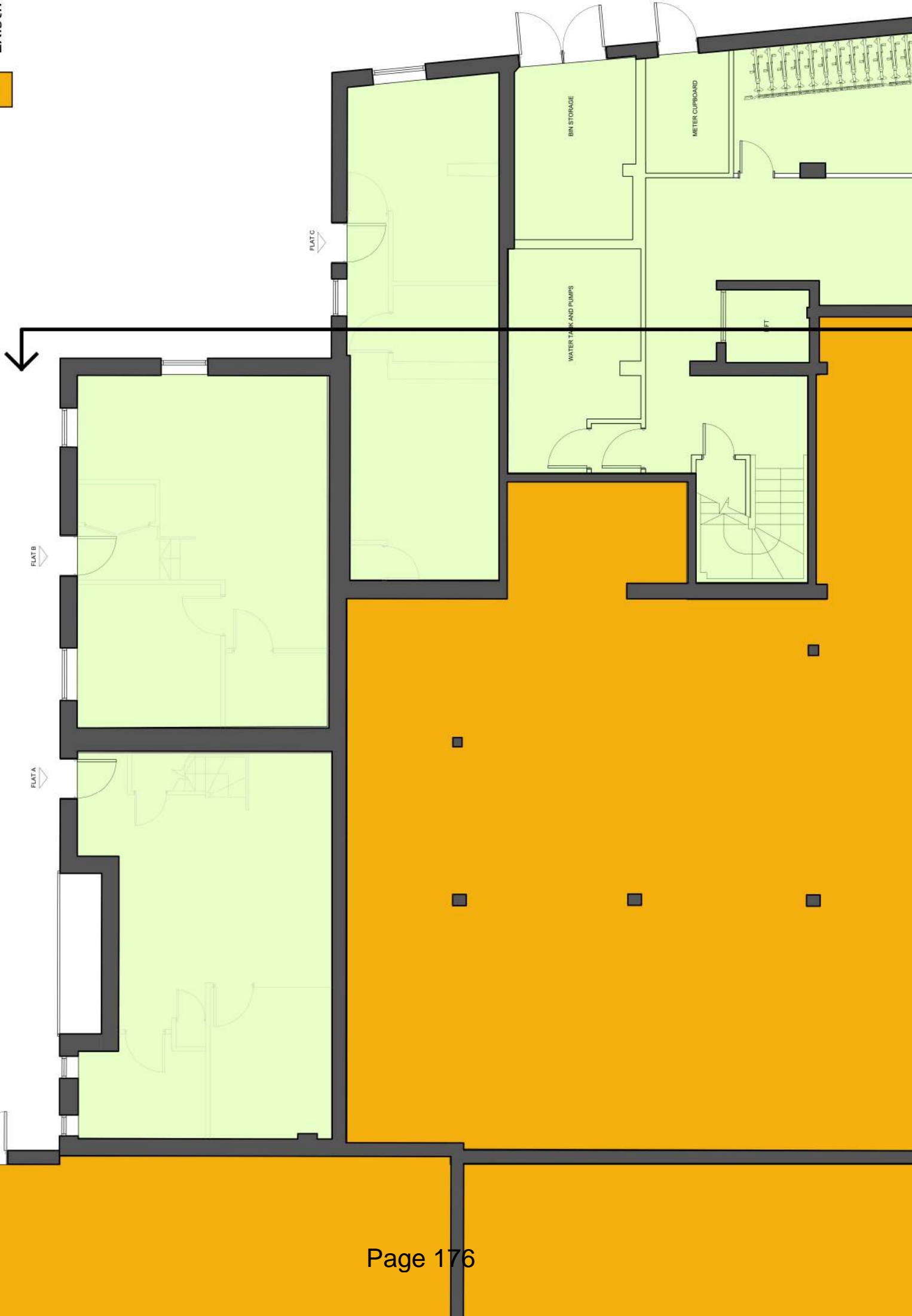
16. A Non Standard Condition: No development approved by this permission shall be commenced until a detailed scheme for the provision of surface and foul water drainage has been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) via infiltration or at an agreed runoff rate, in accordance with drainage hierarchy contained within the London Plan and the advice contained within the National SuDS Standards.

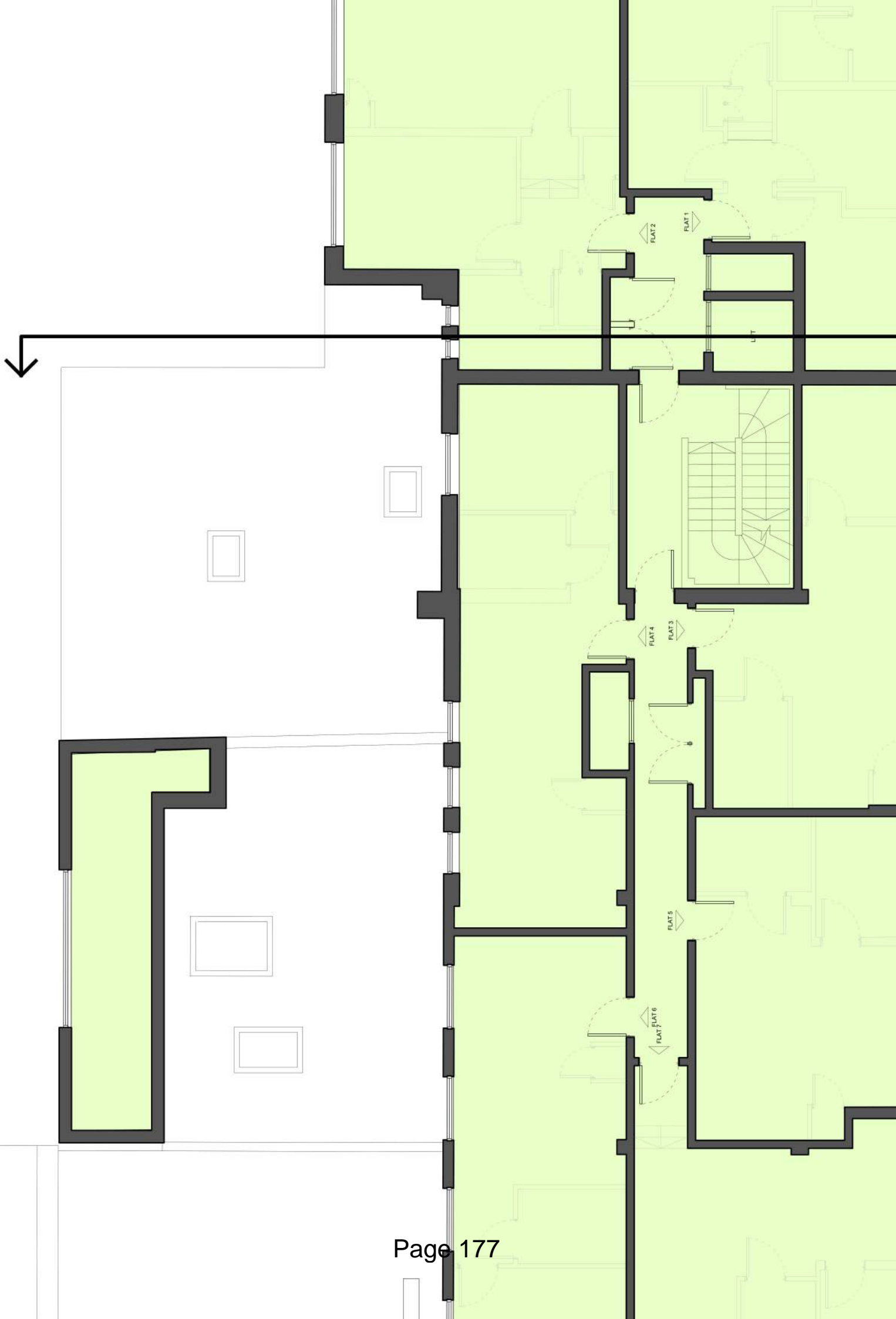
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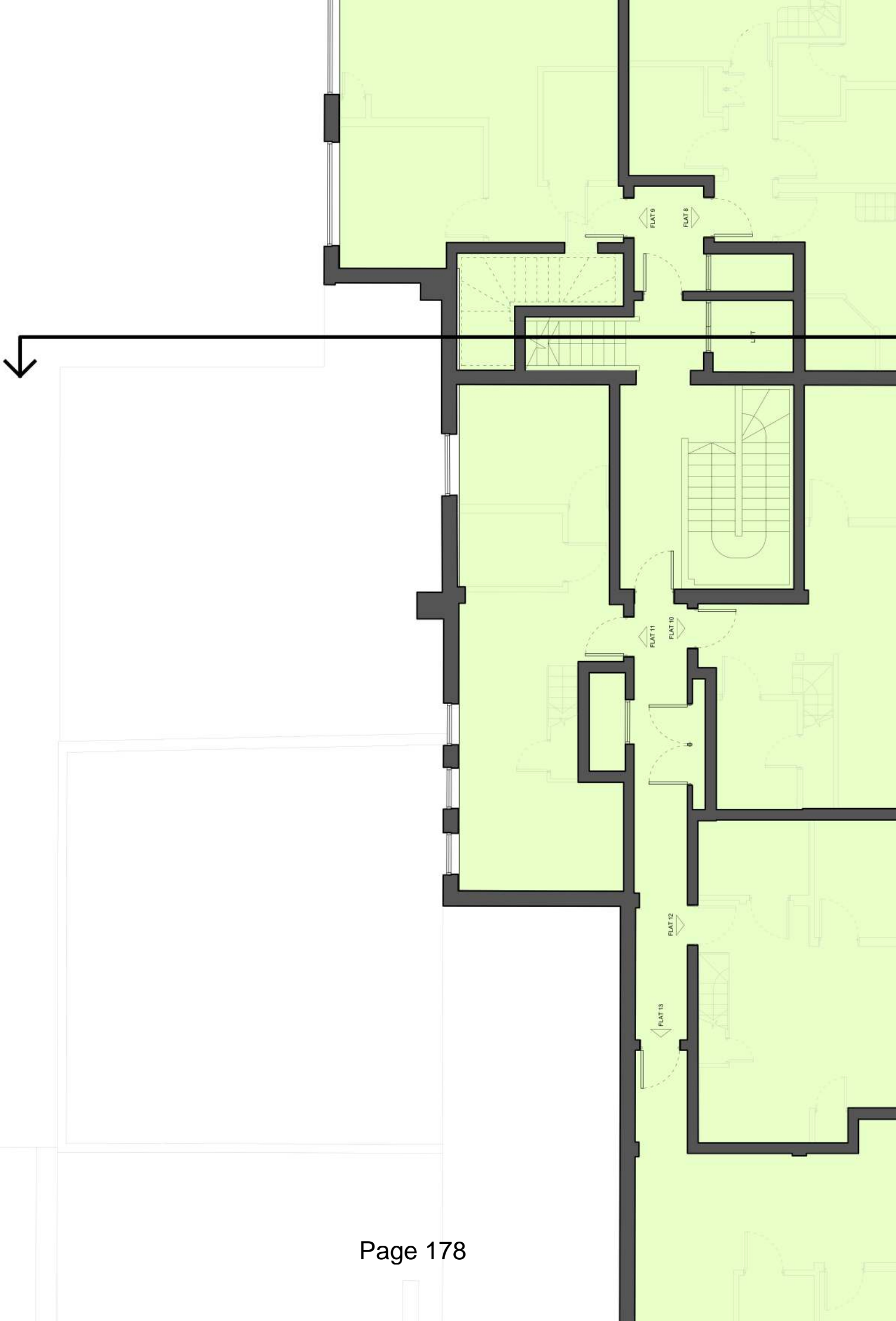


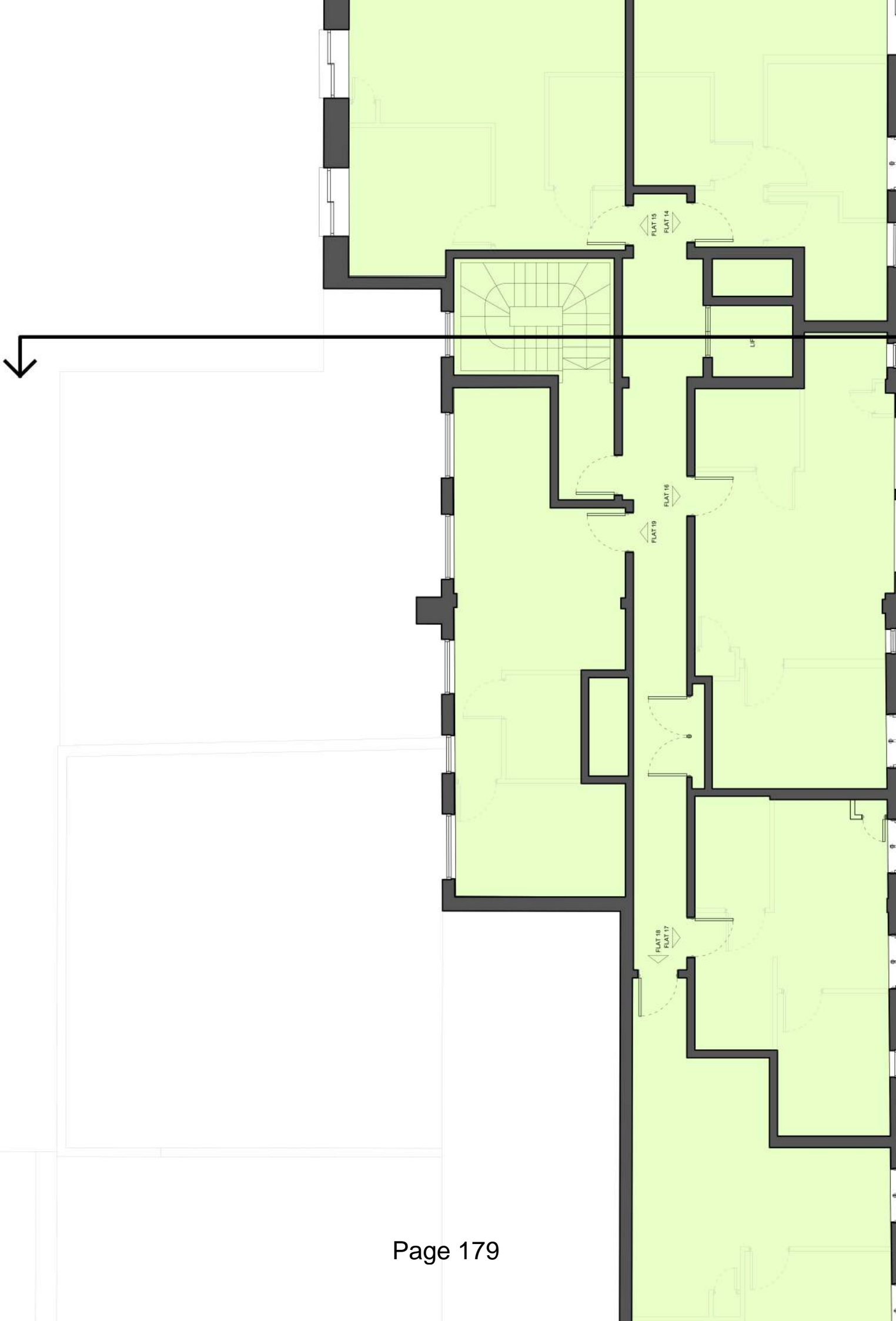
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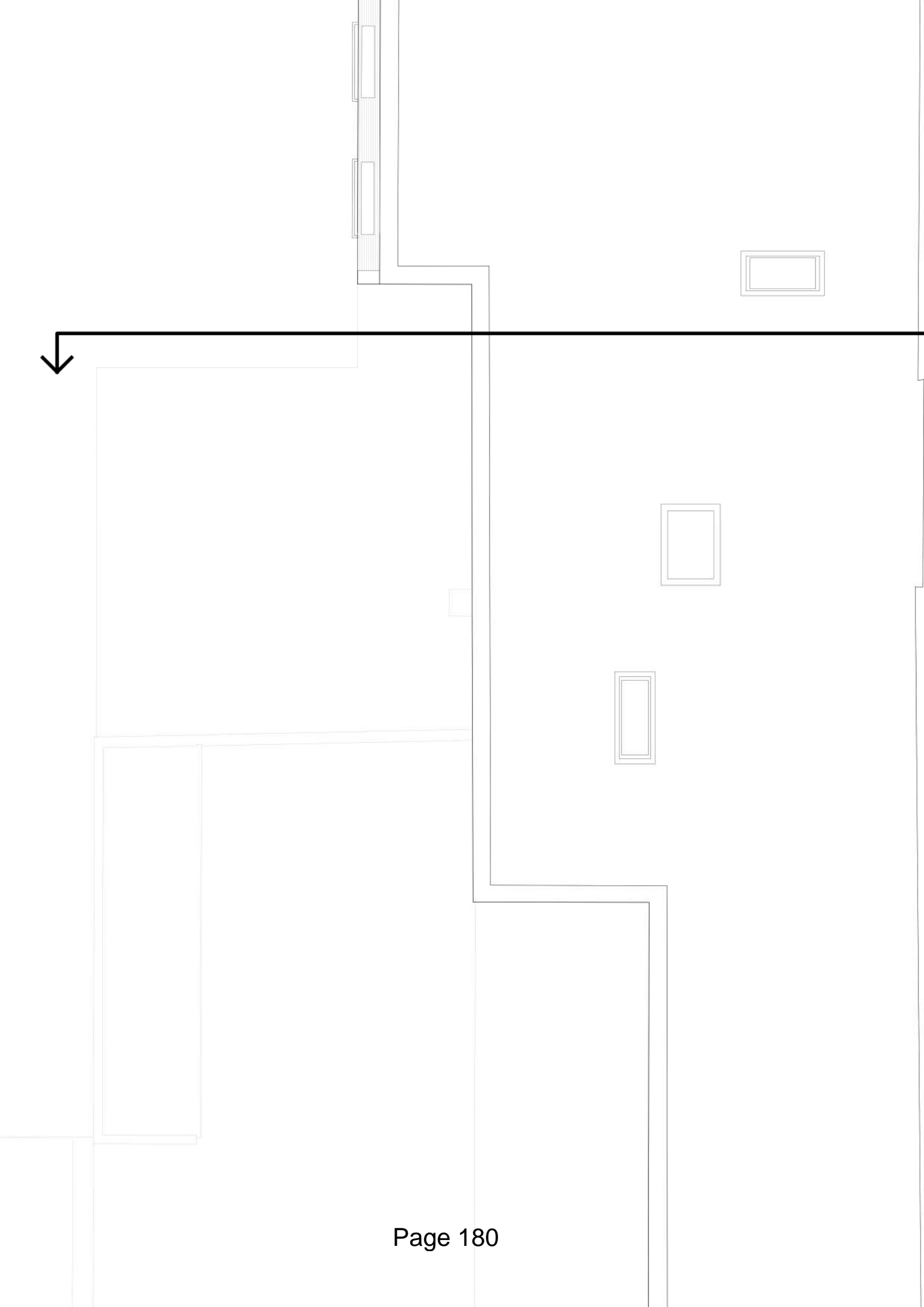
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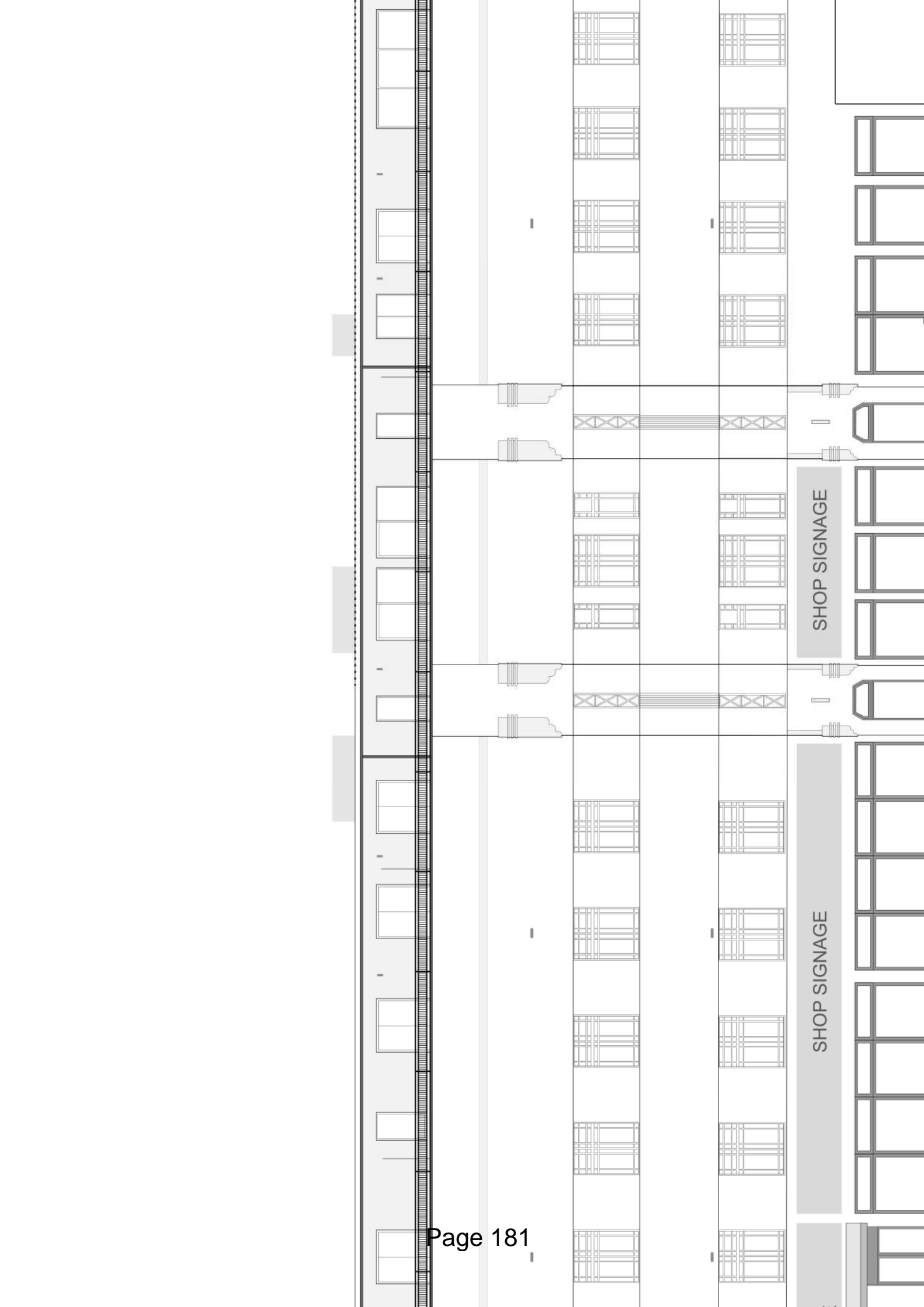










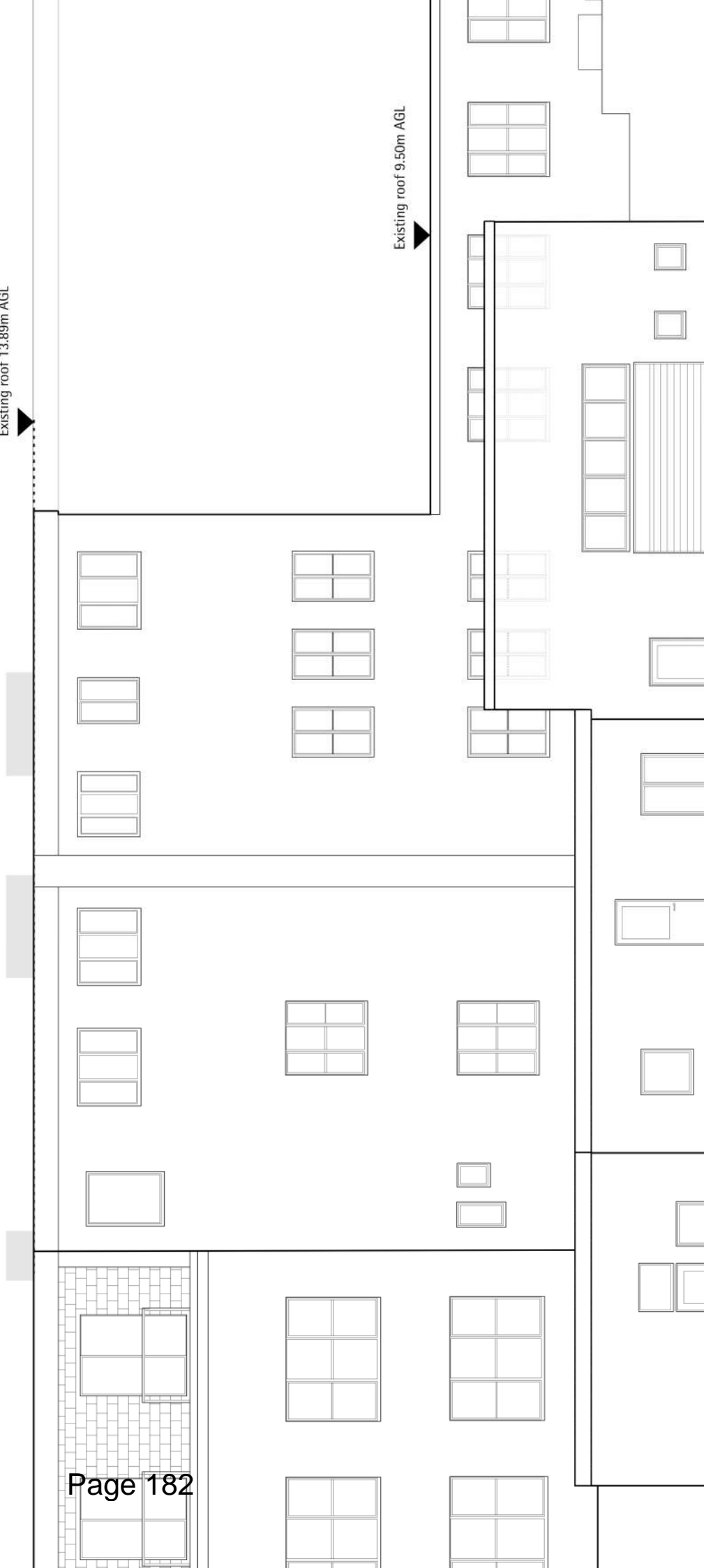


SHOP SIGNAGE

SHOP SIGNAGE

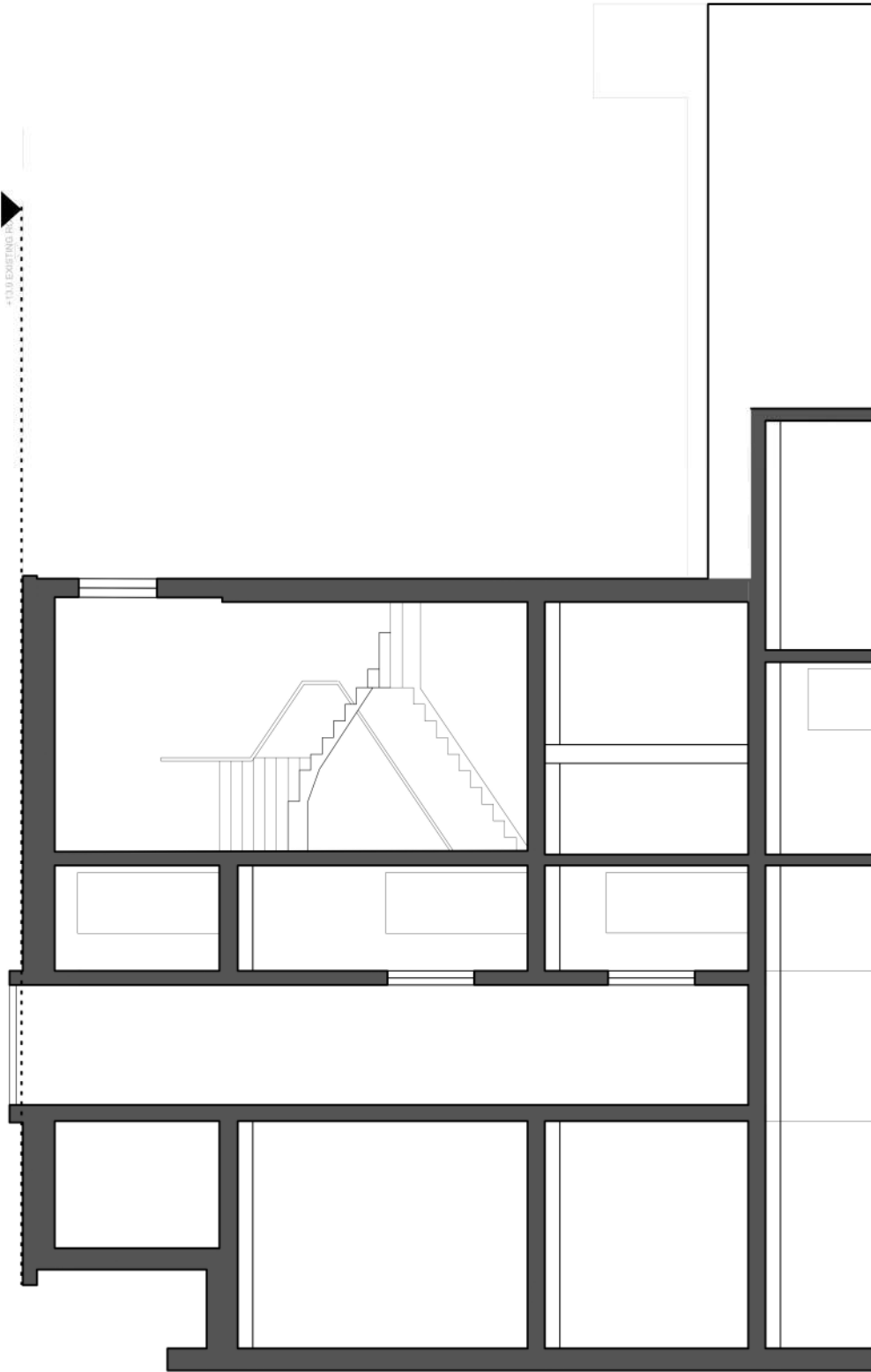
Existing roof 13.89m AGL

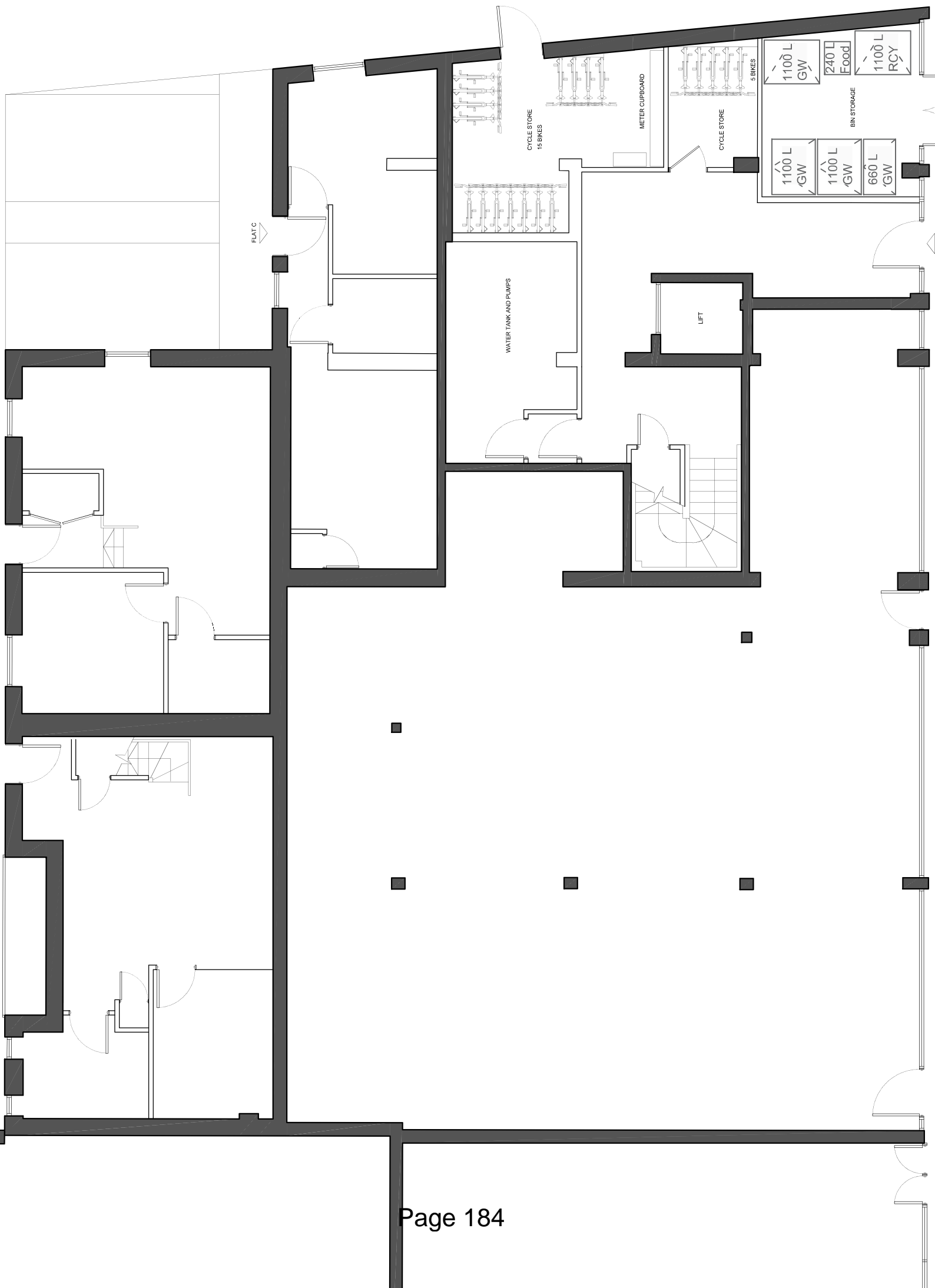
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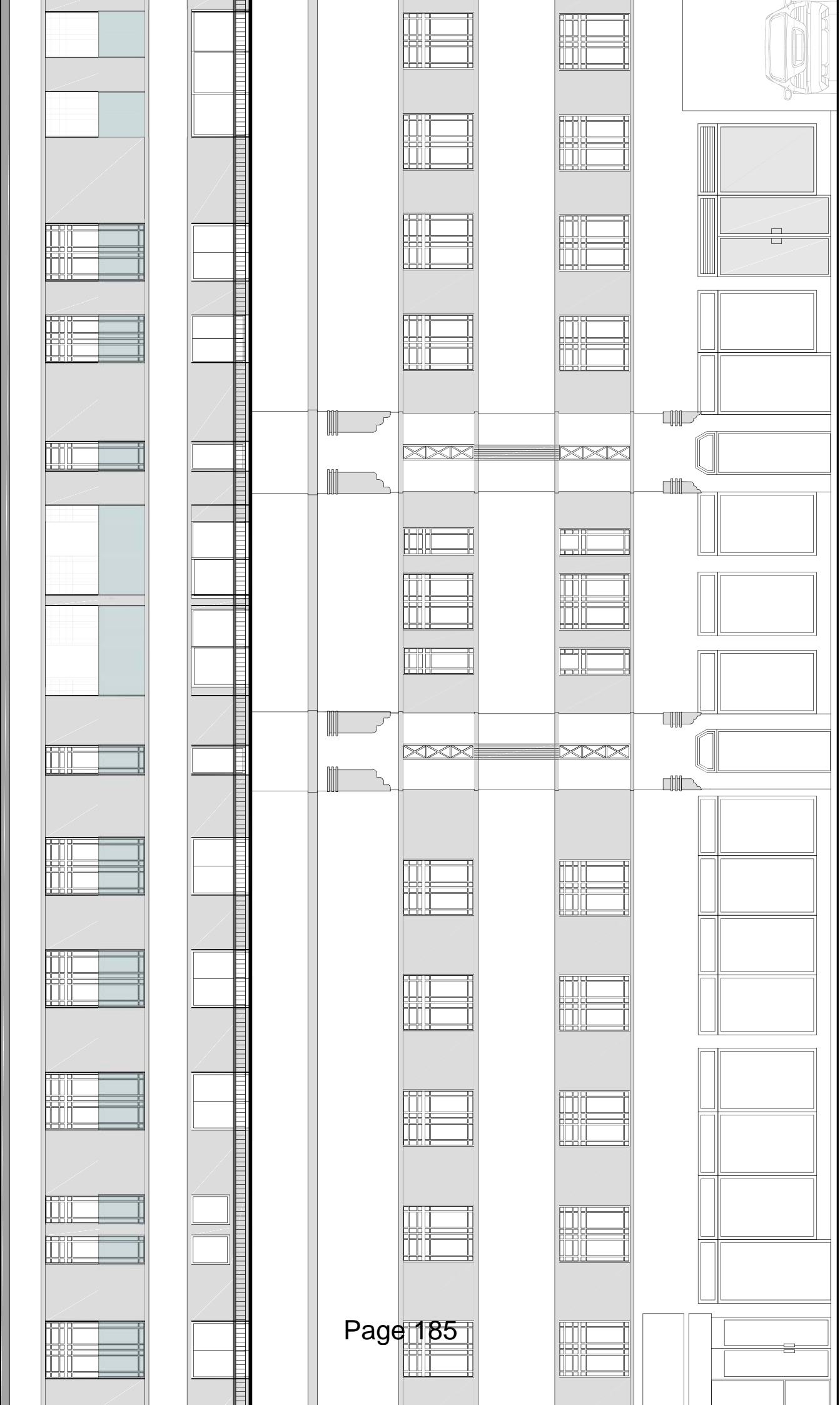


Existing roof 13.89m AGL

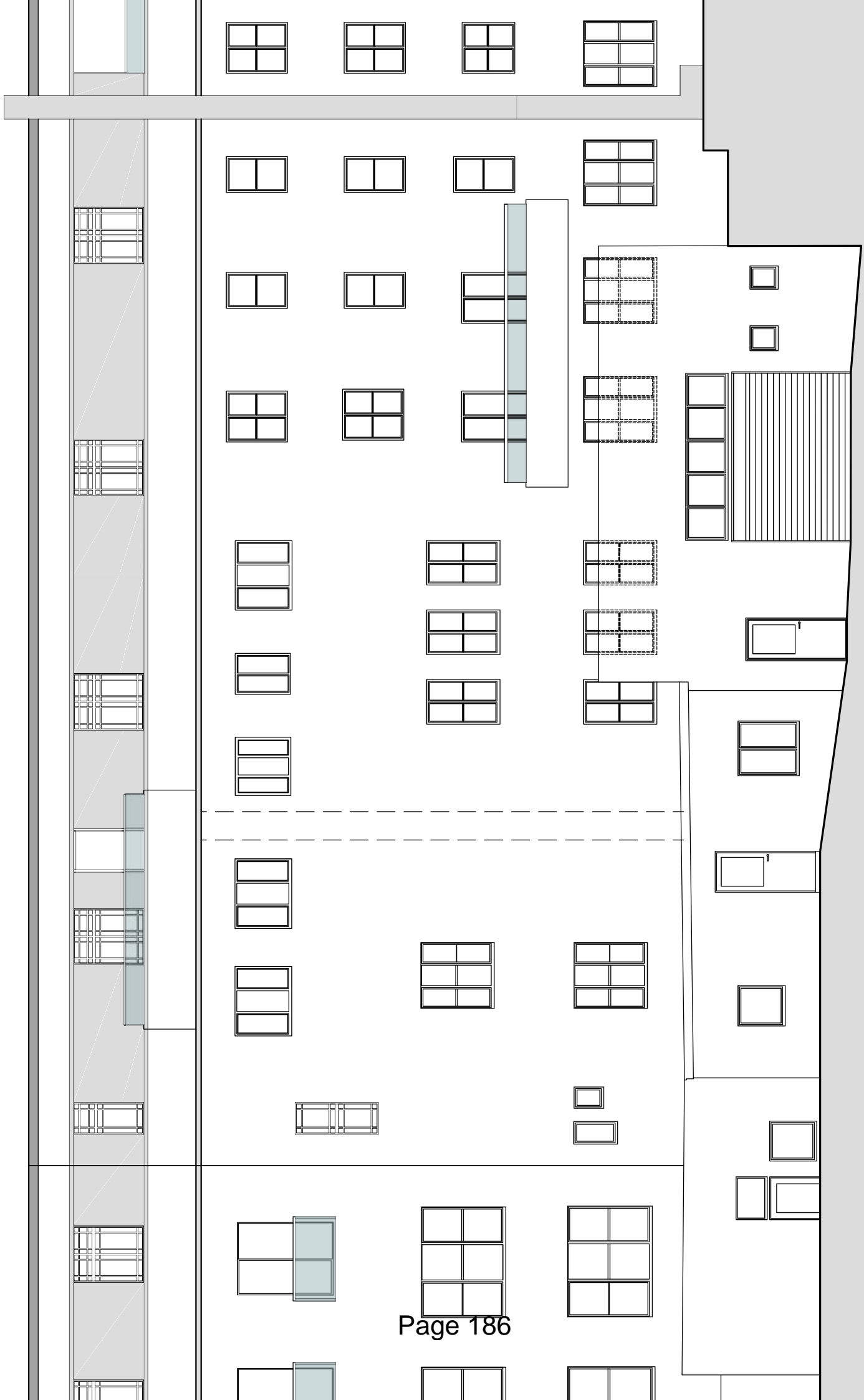
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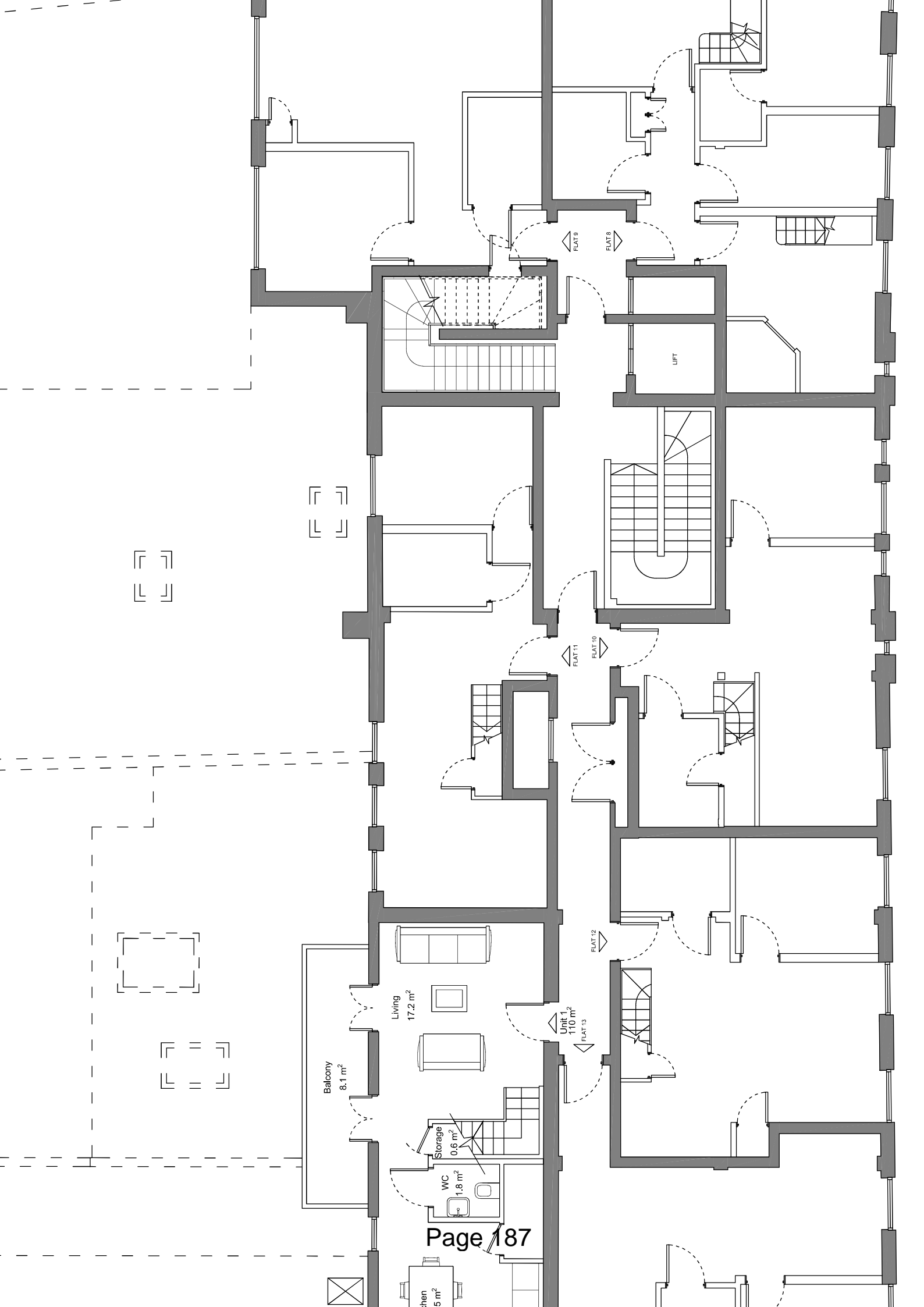


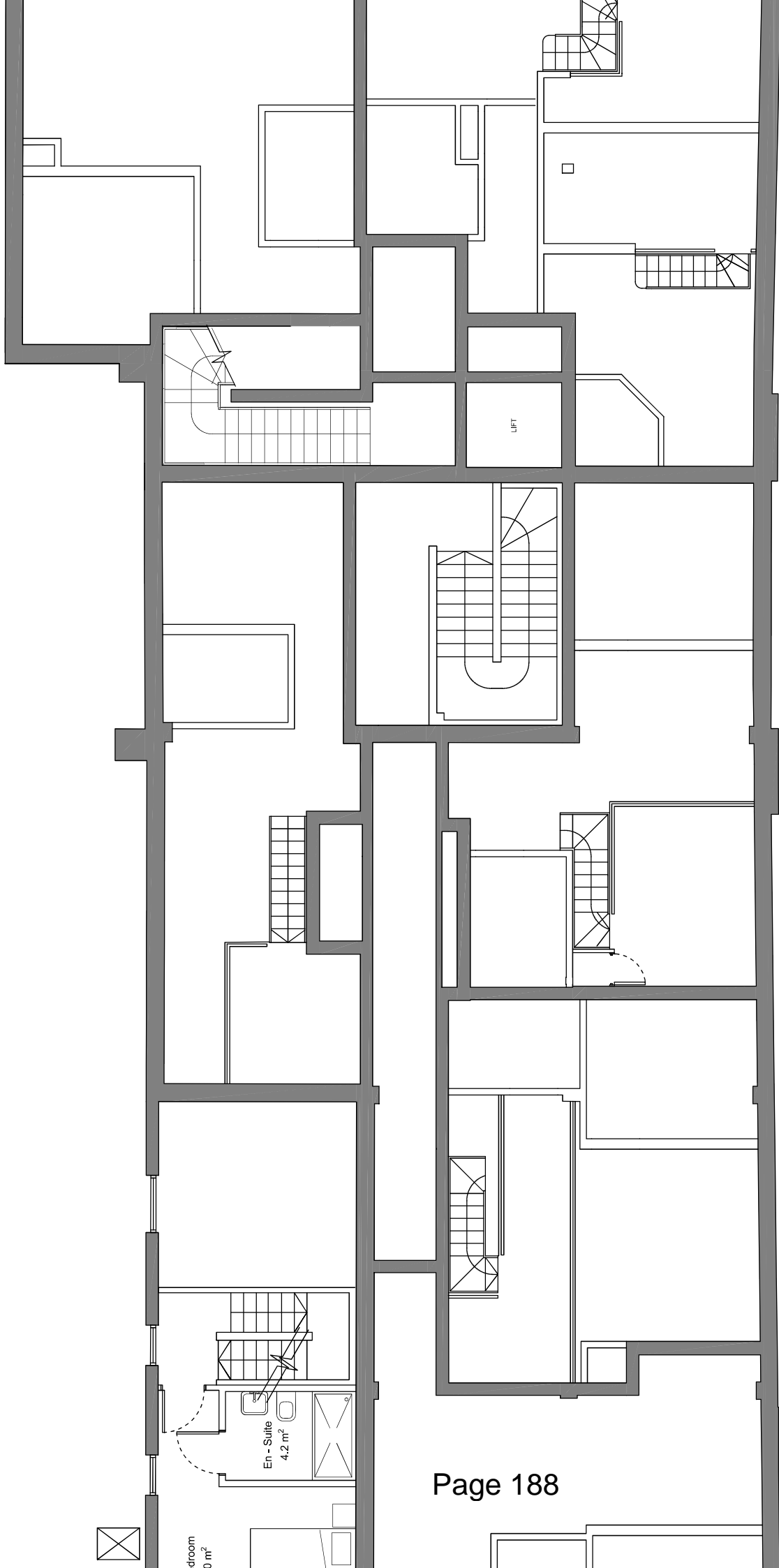


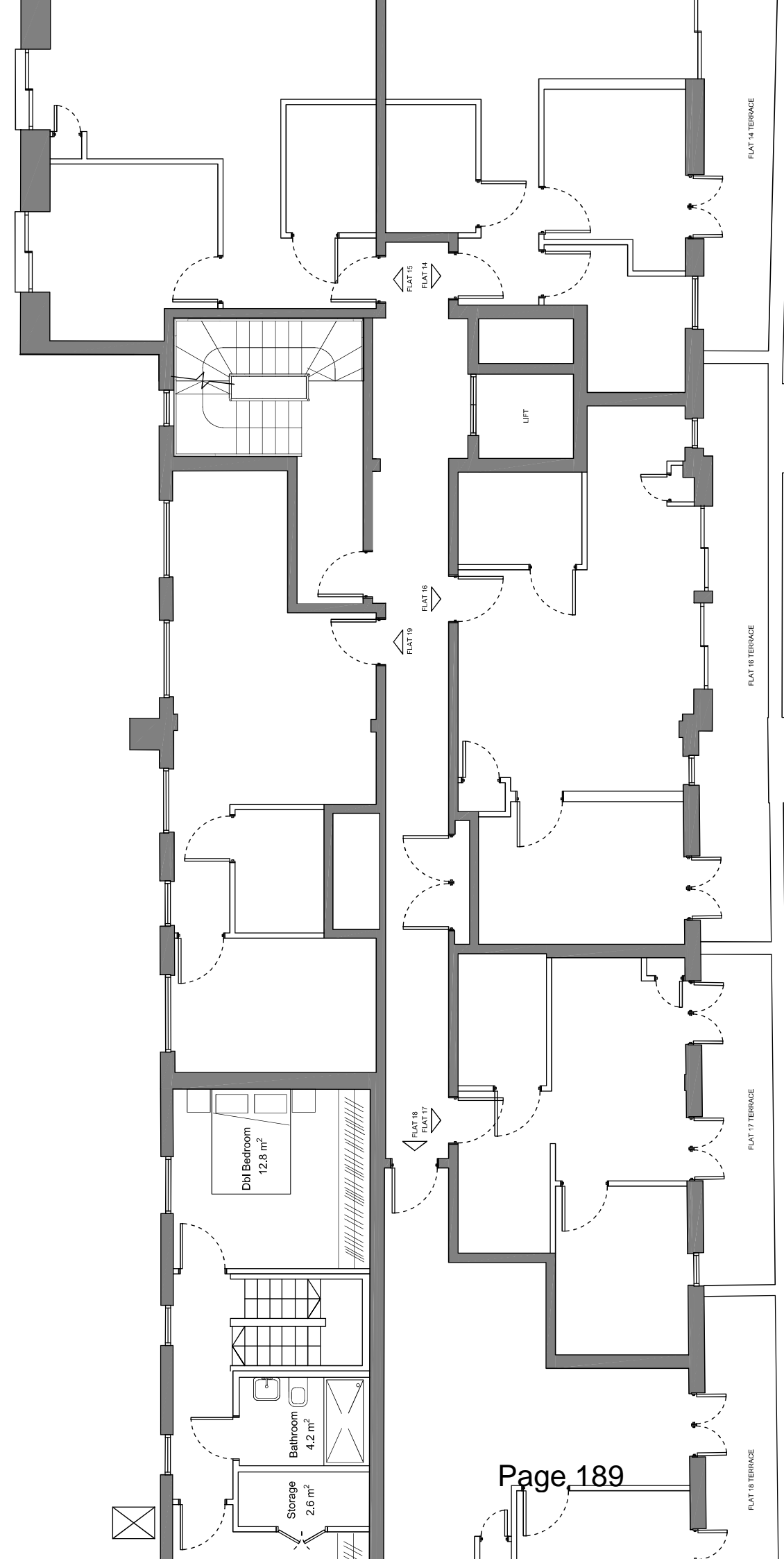


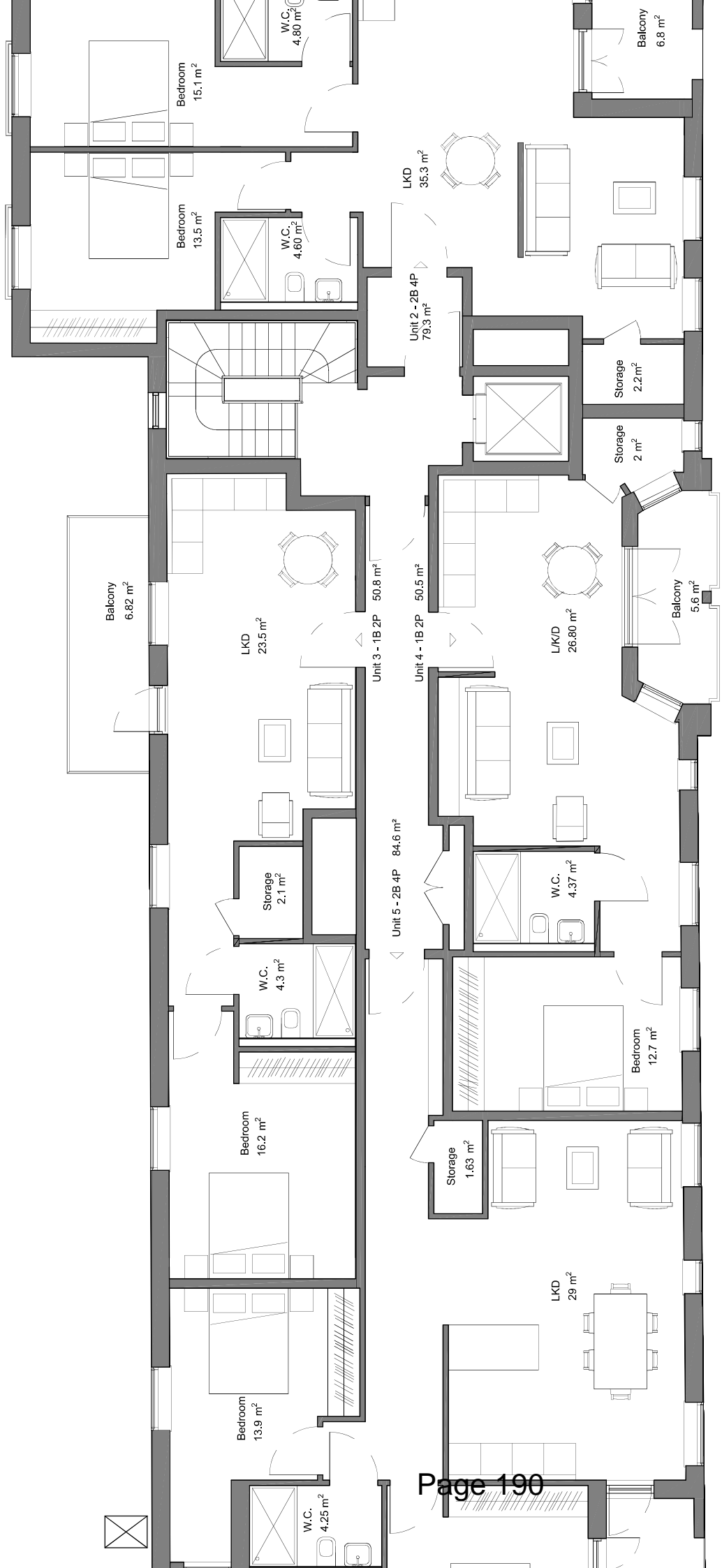
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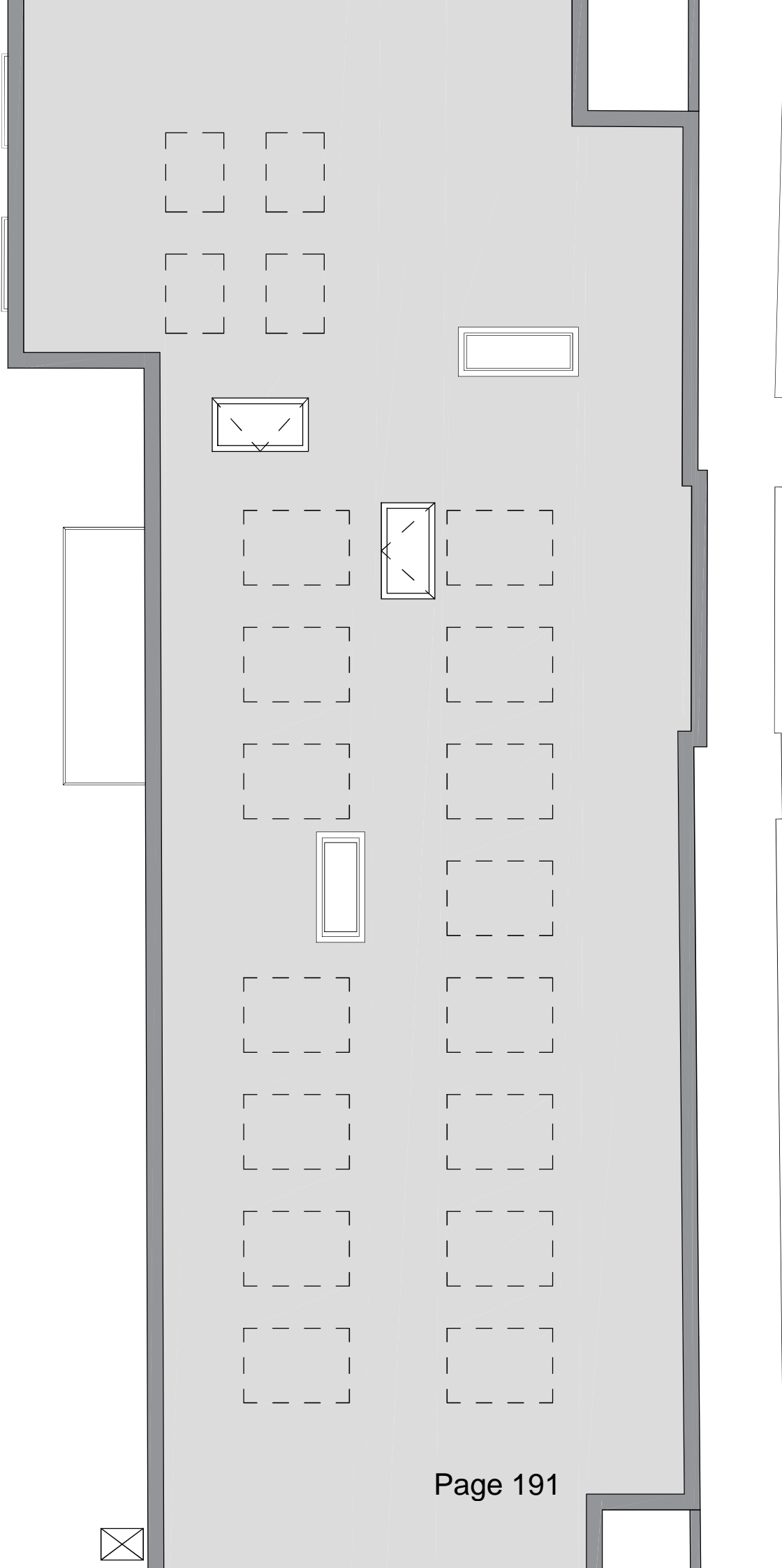




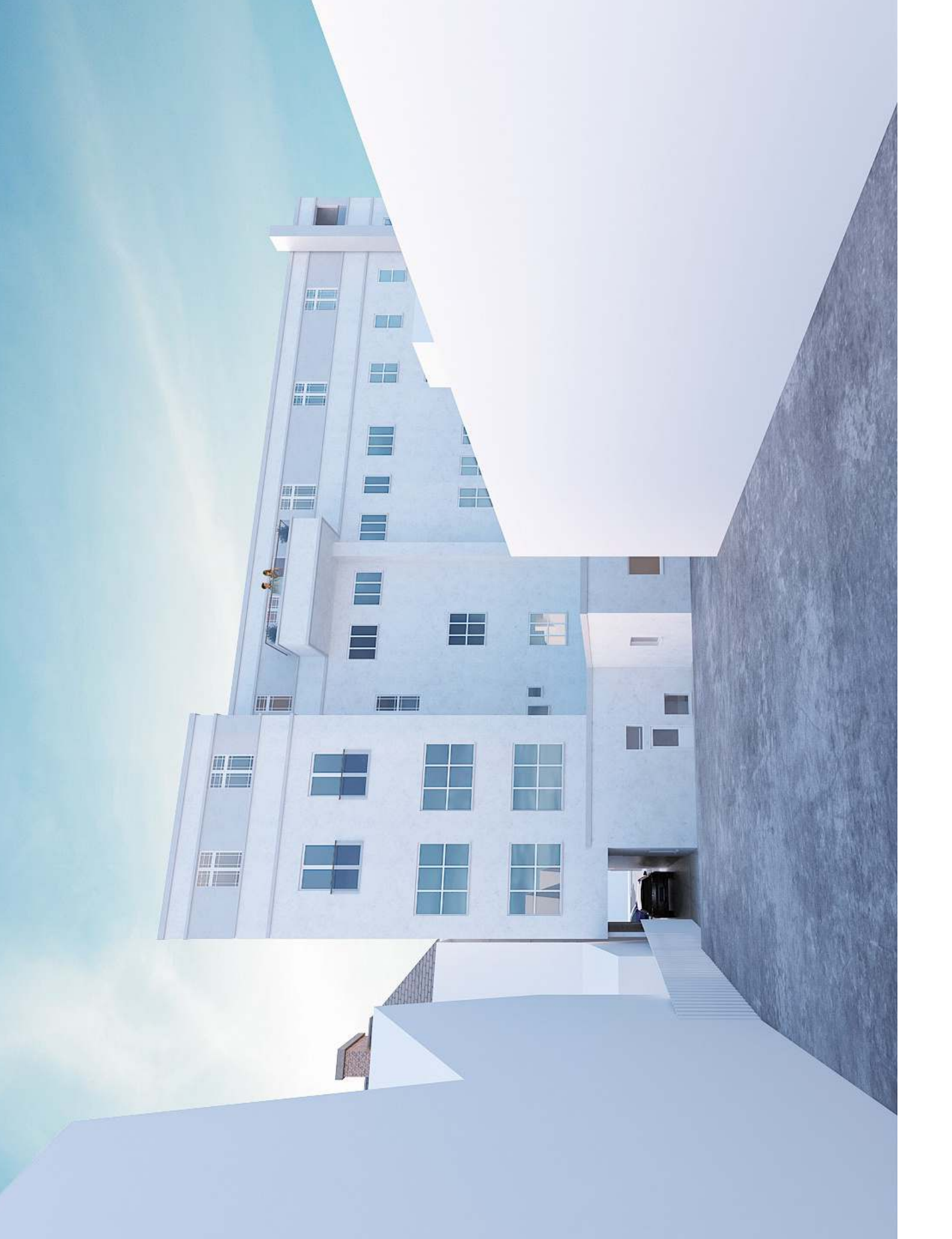












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PLANNING APPLICATIONS COMMITTEE
09th December 2021

Item No:

UPRN

APPLICATION NO.

DATE VALID

21/P0119

16/12/2020

Address/Site:

81 – 83 Wimbledon Hill Road, Wimbledon, SW19 7QS

(Ward)

Hillside

Proposal:

Erection of a five storey residential block plus basement comprising 17 x self-contained flats (3 x 3 bed, 10 x 2 bed & 4 x 1 bed) plus three bedroom detached dwelling arranged over 2 floors (ground floor and basement). Basement to accommodate 9 car parking spaces.

Drawing Nos:

PL-002 (PL4), PL-003 (PL5), PL-004 (PL4), PL-005 (PL4), PL-006 (PL4), PL-007 (PL4), PL-008 (PL4), PL-009 (PL5), PL-010 (PL6), PL-011 (PL5), PL-013 (PL5) – Proposed east elevation, PL-013 (PL5) – Proposed west elevation, PL-020 (PL5), PL-021 (PL3), SK001.

Contact Officer:

David Gardener (0208 545 3115)

RECOMMENDATION

GRANT Planning Permission Subject to Conditions and S106 Agreement

CHECKLIST INFORMATION

- Heads of agreement: Permit free
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 168
- External consultations: None

1. INTRODUCTION

- 1.1 The application has been brought before the Planning Applications Committee due to the nature and number of objections received.

2. SITE AND SURROUNDINGS

- 2.1 The application site is currently occupied by a three storey (including basement) detached early 20th Century building, which is currently sub-divided into 5 self-contained flats. The site is located on the north side of Wimbledon Hill Road, and is not located in a conservation, although the front boundary adjoins the Merton (Wimbledon Hill Road) Conservation Area.
- 2.2 The site currently provides off-street parking to the front and side of the existing building, including 3 garages, although it is not clear whether these are being currently used for parking.
- 2.3 The surrounding area is predominantly residential, comprising a mixture of purpose built blocks of flats and houses. The application site is bounded by Bluegates, a four storey block of flats to the west, Harrowdene Court, a five storey block of flats to the north, and Leeward Gardens, a development of 2 – 3 storey dwellings to the east. It should be noted that Nos. 26 – 30 Leeward Gardens are orientated so that the rear elevations of these dwellings face the side boundary of the application site.
- 2.4 The site has excellent public transport accessibility (PTAL 6a) and is also located in a controlled parking zone (zone W2).
- 2.5 The application site comprises a number of trees, although only one, a Sycamore tree, located to the rear of the site, is subject to a Tree Preservation Order. Trees, subject to TPO's are also located in the garden of No. 26 Leeward Gardens, close to the side boundary with the application site.

3. CURRENT PROPOSAL

- 3.1 Erection of a five storey residential block plus basement comprising 17 x self-contained flats (3 x 3 bed, 10 x 2 bed & 4 x 1 bed) plus a 3 bedroom detached dwelling arranged over 2 floors (ground floor and basement).
- 3.2 The proposed building would have a contemporary design, featuring a flat roof, and comprises red brickwork (including textured brickwork) and buff cement cladding facing materials, metal windows, and glass balustrades. The proposed house would feature a green roof.
- 3.3 All of the flats would have access to a private terrace, balcony or garden. A communal garden would also be located to the rear of the building.
- 3.4 The proposed basement, which is accessed via a car lift, would accommodate 9 car parking spaces (including 2 disabled spaces), whilst secure cycle storage and bin storage is located at ground level.
- 3.5 Amended Plans:
Please note that the application has been amended following submission of the application. The maximum height of the building has been reduced by approx.

50cm, whilst the footprint of the building has been reduced, with the front and rear elevations pulled back. The building, above ground floor level, has also been shifted slightly further to the west. The footprint of the top floor has also been reduced. The proposed facing materials have also been amended with for example, glass balustrades replacing the brick balustrades previously proposed.

4. PLANNING HISTORY

The following planning history is relevant:

- 4.1 MER847/65(D) - Erection of a range of five lock-up garages. Granted - 10/03/1966
- 4.2 89/P1216 - Erection of two pre-fabricated garages. Granted - 17/11/1989
- 4.3 00/P1873 - Erection of a single-storey timber chalet building in the back garden. Granted - 16/11/2000

5. POLICY CONTEXT

- 5.1 Adopted Merton Sites and Policies Plan and Policies Maps (July 2014):
DM D1 (Urban design and the public realm), DM D2 (Design considerations in all developments), DM D3 (Alterations and extensions to existing buildings), DM EP2 (Reducing and mitigating noise), DM F1 (Support for flood risk management), DM F2 (Sustainable urban drainage systems SuDS, wastewater and water infrastructure), DM H2 (Housing Mix), DM H3 (Support for affordable housing), DM O2 (Nature Conservation, Trees, hedges and landscape features), DM T1 (Support for sustainable transport and active travel), DM T2 (Transport impacts of development), DM T3 (Car parking and servicing standards)
- 5.2 Adopted Core Strategy (July 2011):
CS.8 (Housing Choice), CS.9 (Housing Provision), CS.14 (Design), CS.15 (Climate Change), CS.18 (Active Transport), CS.19 (Public Transport), CS.20 (Parking, Servicing and Delivery)
- 5.3 The relevant policies in the London Plan (March 2021) are:
GG6 (Increasing efficiency and resilience), D2 (Infrastructure requirements for sustainable densities), D3 (Optimising site capacity through the design-led approach), D4 (Delivering good design), D5 (Inclusive design), D8 (Public realm), D10 (Basement development), D11 (Safety, security and resilience to emergency), D12 (Fire safety), G5 (Urban greening), D6 (Housing quality and standards), H1 (Increasing housing supply), H4 (Delivering affordable housing), H5 (Threshold approach to applications), H6 (Affordable housing tenure), H7 (Monitoring of affordable housing), H10 (Housing size Mix), SI 1 (Improving air quality), SI 2 (Minimising greenhouse gas emissions), SI 3 (Energy infrastructure), SI 4 (Managing heat risk), SI 5 (Water infrastructure), SI 13 (Sustainable drainage), T4 (Assessing and mitigating transport impacts), T5 (Cycling), T6 (Car parking), T7 (Deliveries, servicing and construction)

- 5.4 Mayor of London Housing Supplementary Planning Guidance (March 2016)
- 5.5 Merton Council Small Sites Toolkit SPD 2021
- 5.5 Department for Communities and Local Government 'Technical housing standards – nationally described space standard'
- 5.6 National Planning Policy Framework 2019

6. CONSULTATION

6.1 The application was originally publicised by means of a site and press notice and individual letters to occupiers of neighbouring properties. In response, 50 letters of objection were received including objection letters from the Belvedere Estate Residents' Association (BERA) and Wimbledon East Hillside Residents' Association (WEHRA), and independent Daylight/Sunlight Report by Right of Light Consulting. The letters of objection were on the following grounds:

- Impact of basement on flood risk and structural integrity of surrounding properties/subsidence
- Poor design/ out of character with surrounding area/demolition of an existing building with heritage and architectural value/impact on adjacent conservation area and listed building/impact on streetscene
- Lack of affordable housing
- Privacy loss/overlooking/visual intrusion/overbearing impact
- Daylight/sunlight loss and inaccuracies/inadequacies of daylight/sunlight report/right to light, inaccuracies/lack of information in drawings and submitted documents to accurately assess the application properly
- Excessive size, bulk, massing and height
- Overdevelopment of site/too high density
- Lack of infrastructure to support increase in population
- Damage to retaining wall between Bluegates and No.2b Belvedere Drive
- Lack of parking/traffic impact/highway and pedestrian/cyclist safety
- Noise, vibration, dust, pollution and general disturbance to surrounding properties, including during construction works
- Loss of greenery and trees (including a tree with a TPO)/impact on biodiversity
- Poor standard of accommodation/security concerns
- Lack of consultation from the developer
- Contradicts a number of national and local planning policies
- Concerns regarding waste disposal and sewerage

6.2 Wimbledon East Hillside Residents' Association (WEHRA)

6.3 Objects regarding excessive bulk, height, density and impact that this would have on neighbouring properties regarding loss of daylight/sunlight and

privacy. Also objects regarding safety, flood risk, and lack of affordable housing.

6.4 Belvedere Estate Residents' Association (BERA)

6.5 Objects due to concerns raised by Thames Water and the Designing Out Crime Officer, loss of daylight/sunlight, overshadowing, flooding risk, demolition of existing building, failure to submit Construction Traffic Management Report, disruption to Bus and Cycle Lane, overdevelopment, and overbearing impact. Also question why a developer would construct the proposed development if making a loss as suggested by the developer's viability assessment.

6.6 Following the submission of the amended plans to the proposal, a further re-consultation was undertaken by the Council with neighbouring occupiers. In response a further 29 letters of objection were received on the following grounds:

- Little change to original proposal
- Loss of existing house
- Excessive height and bulk/dominates surrounding buildings/poor design/out of character with surroundings
- Impact of depth of excavation on surrounding buildings and viability of trees
- Inaccurate documents
- Loss of daylight/sunlight and overshadowing
- Overlooking/loss of privacy/noise and disturbance with use and during construction
- Visual intrusion/dominant/overbearing/loss of outlook
- Loss of trees
- Overdevelopment/too high density
- Flood risk
- Lack of supporting infrastructure
- Financial risk to the developer/lack of affordable housing/additional units not required to meet housing targets
- Impact on adjacent conservation area and listed building
- Traffic impact
- Concerns raised by Design Out Crime Officer regarding safety

6.3 Future Merton - Transport Planning

6.4 No objections, subject to conditions and S106 Agreement preventing future occupiers obtaining on-street parking permits.

6.5 Future Merton – Flood Risk Officer

6.6 The application is supported by a BIA and Drainage/SuDS strategy. It is likely that groundwater (perched) will be found on excavation and hence dewatering will be required. Furthermore, we would seek additional mitigation (above those stated in the BIA) in terms of passive drainage measures around the structure given the relative gradient of Wimbledon Hill Rd to allow the free flow of perched groundwater around the structure.

- 6.7 The site is not shown to be at high risk of surface water flooding as shown on the surface water flood maps and it is not located in flood zone associated with river flooding. Conditions are recommended if minded to approve the application.
- 6.8 Council's Tree Officer
- 6.9 There are trees subject to Tree Preservation Order's within the site and adjacent on Leeward Gardens. Most of the TPO's trees at the site have been removed over the years and only the Sycamore tree at the rear is now subject to a TPO. In no. 26, there are 2 trees, which are subject to TPO's, which are affected by this proposal. The works include the cutting back of a Hornbeam tree. I would object to this as the tree has a good even shape and this would disfigure that shape.
- 6.10 The proposal requires the removal of 3 'B' category trees, and there would appear to be little opportunity for new tree planting. Certainly, no large species of tree.
- 6.11 Council's Environmental Health Officer
- 6.12 No objections, subject to appropriate conditions.
- 6.13 Thames Water
- 6.14 No objections, subject to appropriate conditions.
- 6.15 Council's Structural Engineer
- 6.16 The Basement Impact Assessment and supplementary information have demonstrated that the proposed development can be built safely without adversely affecting the surrounding natural and built environment. However, as the distance between the face of excavation and the highway boundary (approx. 8m and below) is less than the depth of excavation (8.5m), we would require additional information be submitted. This can be dealt with through conditions.
- 6.17 Designing Out Crime Officer
- 6.18 Has raised some security concerns, and as such has requested some conditions to deliver a safer development.
- 6.19 Future Merton – Climate Change Officer
- 6.20 No objections subject to appropriate conditions and S106 to secure carbon offset contribution.

7. PLANNING CONSIDERATIONS

7.1 Principle of Development

- 7.1.2 The proposal would result in a net increase of 13 self-contained residential units, which would help contribute to the council's housing target of providing 500 – 600 residential units in Wimbledon for the period 2011 – 2026 set out in policy CS 9 of the Core Planning Strategy 2011.
- 7.1.3 Policy H1 of the London Plan 2021 has set Merton a ten-year housing target of 9,180 new homes. By providing a net increase in 13 new units the proposals would make a small contribution to meeting that target and providing much needed new housing.
- 7.1.3 Policy H2 of the London Plan 2021 outlines that Boroughs should pro-actively support well-designed new homes on small sites (below 0.25 hectares in size) through both planning decisions and plan-making in order to:
- 1) significantly increase the contribution of small sites to meeting London's housing needs
 - 2) diversify the sources, locations, type and mix of housing supply
 - 3) support small and medium-sized housebuilders
 - 4) support those wishing to bring forward custom, self-build and community led housing
 - 5) achieve the minimum targets for small sites set out in Table 4.2 as a component of the overall housing targets set out in Table 4.1.
- 7.1.4 Historically small sites have been crucial to housing delivery in Merton and they continue to offer opportunities to grow Merton's housing stock. Over the last 15 years, small sites have provided over 60% of built homes borough-wide and account for over 95% of approved applications. The Council have recently adopted a Small Sites Toolkit SPD 2021 which outlines guidance on developing small sites.
- 7.1.5 The proposal to provide new residential units to this small site (0.2 ha in size) is considered to respond positively to London Plan and Core Strategy planning policies to increase housing supply and optimise small sites and is supported by Officers.

7.2 Visual amenity

- 7.2.1 Policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that proposals for development will be required to relate positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings, whilst using appropriate architectural forms, language, detailing and materials which complement and enhance the character of the wider setting.
- 7.2.2 The application has been amended on officer advice and is considered to be a high quality design that responds well to both the topography of Wimbledon Hill Road, and architectural styles of surrounding buildings. The massing, scale and height of the proposal are considered acceptable with the main building and house responding well to the gradient of the hill.

- 7.2.3 The proposed main building is five storeys, and it should be noted that the surrounding area comprises a number of flatted blocks of similar heights, with Harrowdene Court to the rear also being five storeys, and Hill Court (No.104 Wimbledon Hill Road) on the opposite side of Wimbledon Hill Road being six storeys in height. The proposed building would also be sited more towards the west of the application site, so that there is a minimum 20m gap, and therefore breathing space, between the building and the two-storey houses on Leeward Gardens. The proposed house is low-rise with only a single storey above ground level, which means it would have very little impact when viewed from the street.
- 7.2.4 The proposed buildings are contemporary design, comprising predominantly red brick (including textured red brick soldier course), with the main building also featuring fibre cement cladding on parts of the side elevations, balconies floors, and top floor elevation to compliment this. The balustrades to the balconies would be glass. This is considered acceptable and would relate well to the surrounding building, which are also predominantly red brick.
- 7.2.5 The Wimbledon Hill Road Conservation Area boundary lies to the front of the site and captures the road, rather than the surrounding built form in this immediate area, apart from number 100 which is a two storey Grade II Listed Building known as the White House. The proposed design and scale of the flatted building and single dwelling house would be of an appropriate built form which would be largely in keeping with the surrounding flatted development and takes into account the topography of the hill. The front building line would be similar to the existing and overall officers are satisfied that it would not cause harm to the setting of the Conservation Area. The proposal would remain of a large separation distance to the Grade II Listed Building opposite such that there would be no harm caused to its setting.
- 7.2.6 Overall, it is considered that the proposal would result in a high quality development and as such complies with all the relevant design planning policies.

7.3 Residential Amenity

- 7.3.1 Policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that proposals for development will be required to ensure provision of appropriate levels of sunlight and daylight, quality of living conditions, amenity space and privacy, to both proposed and adjoining buildings and gardens. Development should also protect new and existing development from visual intrusion.
- 7.3.2 The application site is bounded by Bluegates, a four storey block of flats to the west, Harrowdene Court, a five storey block of flats to the north (rear), and Leeward Gardens, a development of 2 – 3 storey dwellings to the east. It should be noted that Nos. 26 – 30 Leeward Gardens are orientated so that the rear boundary of these dwellings bounds the side boundary of the application site.

- 7.3.3 The orientation and shallow depth of rear gardens of Nos. 26 – 30 Leeward Gardens, does hinder the development potential of the application site. In addition to the aforementioned constraints, the site due to the gradient of the hill, is also located on higher ground than Leeward Gardens, which further increases any impact of a redevelopment. However, despite these constraints, it is considered, that the proposed development would, on balance, have an acceptable impact on the amenity of these properties. It is accepted that there would be some visual impact on Nos. 26 – 30 Leeward Gardens, however, to reduce this impact the main building would be predominantly sited on the western part of the site so that it is a minimum of 20m from the rear elevation of Nos. 26 – 30, and 13.5m from the boundary, which is considered to be a sufficient distance to prevent an unacceptable level of privacy loss (20m is generally considered an acceptable distance between facing windows) and visual intrusion. It should be noted that the east facing side windows above ground floor level are angled, and the top floor terrace is set back to further reduce any overlooking. To further reduce its bulk and massing when viewed from Leeward Gardens, the top floor is set back on its eastern elevation, which means it would be read more as a 4 storey building, than a five storey building from these properties, and the building is split into two distinct front and rear segments, which are separated by the stair core, which is set back from the east side of the building. This would help break up the building when viewed from Leeward Gardens.
- 7.3.4 The application also proposes a single detached house, which would sit between the main flatted building and the boundary with Leeward Gardens. It is considered that the proposed house would not be visually intrusive or overbearing when viewed from Leeward Gardens given the house would feature a flat roof of 3m in height, which is not considered excessive, whilst the bulk of the house would sit a minimum of approx. 1.7m from the boundary with Leeward Gardens. The applicant has submitted a daylight/sunlight report, which confirms, that Nos. 26 – 31 Leeward Gardens would not suffer an unacceptable level of daylight/sunlight loss or overshadowing as a result of the development.
- 7.3.5 A four storey block of flats (Bluegates), which fronts Wimbledon Hill Road, is located to the west of the application site. The proposed building would be located between 2.9m and 4.7m from the side boundary with this building, and 7m from the nearest part of the building, and approx. 10m from the nearest side facing windows, which is considered an acceptable distance for two side on facing developments of this size. In terms of privacy, the west facing side windows of the rear flats would face a side facing blank wall at Bluegates, whilst the windows to the living/kitchen areas would be obscure glazed. The bedrooms to these flats would not be obscure glazed, however on balance it is considered the impact on privacy would be acceptable given bedrooms are generally not heavily used during the day. It is noted that the outlook from the balconies set back from the front elevation of Bluegates would be impacted by the proposal, however, it is considered that the impact would be acceptable given the flank wall of Bluegates itself has a much larger impact given the balconies are sited hard up against this wall. The proposed building would also extend approx. 7.2m beyond the rear wall of Bluegates. This is also considered acceptable

given the sizeable gap between both buildings, and the fact that the majority of the land to the rear of Bluegates is hard surfaced for car parking. Also part of the projection at the rear is from the rear balconies, which would further lessen the visual impact.

- 7.3.6 The proposal would fail the daylight/sunlight test to the ground and first floor side windows at Bluegates, however, given these windows are side windows, with some appearing to be secondary windows, coupled with the fact that the failure is marginal, it would not warrant a refusal of the application on daylight/sunlight grounds.
- 7.3.7 Located to the rear of the site is Harrowdene Court, a five storey block of flats, which fronts Belvedere Drive. The proposed development would be located a minimum of approx. 12.6m from the rear boundary, and approx. 21m from the closest rear windows at Harrowdene Court, which is considered a sufficient distance to prevent an unacceptable level of privacy loss and visual intrusion. It should also be noted that the Harrowdene Court itself is five storeys, and is located very close to the boundary with the application site. However, Harrowdene Court is also orientated so that it would not directly face the proposed development, which means from the bulk of rear windows, the proposed building would only be visible from an oblique angle. The submitted daylight/sunlight report has also confirmed that the proposed development would also not have an unacceptable impact on daylight/sunlight levels to rear windows of Harrowdene Court.
- 7.3.8 Overall, it is considered that the proposal would not have a detrimental impact on the levels of amenity currently enjoyed by occupiers of surrounding properties and would accord with policies DM D2 and DM D3 Adopted Merton Sites and Policies Plan and Policies Maps (July 2014).

7.4 Standard of Accommodation

- 7.4.1 The Department for Communities and Local Government 'Technical housing standards – nationally described space standard' and Policy D6 of the London Plan 2021, provides the most up to date and appropriate minimum space standards for Merton. In addition, adopted policy CS.14 of the Core Strategy and DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) encourages well designed housing in the borough by ensuring that all residential development complies with the most appropriate minimum space standards and provides functional internal spaces that are fit for purpose. New residential development should safeguard the amenities of occupiers by providing appropriate levels of sunlight & daylight and privacy for occupiers of adjacent properties and for future occupiers of proposed dwellings. The living conditions of existing and future residents should not be diminished by increased noise or disturbance.
- 7.4.2 The proposed residential units all exceed national and regional standards in terms of gross internal floor size and bedroom sizes. All the units are dual or triple aspect and all have adequate levels of light and outlook. The proposed

flats and house all have private balconies, terraces and/or gardens, with all but two units complying with the minimum space standards set out in policy DM D2 of the Adopted Merton Sites and Policies Plan and Policies Maps (July 2014), which requires for flatted dwellings, a minimum of 5sqm of private outdoor space should be provided for 1-2 person flatted dwellings with an extra 1sqm provided for each additional occupant. The two units (Units Nos. 3 & 4) that do not comply, will have a shortfall of only 3sqm, and would have direct access to a communal garden, so this is still considered acceptable in this instance.

7.5 Housing Mix

7.5.1 Policy DM H2 of the Adopted Merton Sites and Policies Plan and Policies Maps (July 2014) states that residential proposals will be considered favourably where they contribute to meeting the needs of different households such as families with children, single person households and older people by providing a mix of swelling sizes, taking account of the borough level indicative proportions concerning housing mix. Therefore in assessing development proposals the council will take account of Merton’s Housing Strategy (2011-2015) borough level indicative proportions which are set out as follows:

Number of bedrooms	Percentage of units
One	33%
Two	32%
Three +	35%

7.5.2 It is considered that the proposal provides a good mix of properties with 4 x 1 bedroom units (22%), 10 x 2 bedroom units (56%) and 4 x 3 bedroom units/house (22%). Although there is a disproportionate number of 2 bedroom units in relation to the policy aim, it is not excessive and would not warrant a refusal of the application.

7.6 Parking and Traffic

7.6.1 The application site has very good level of accessibility to public transport with a PTAL rating of 6a with the site located a short distance from a number of bus routes and Wimbledon Railway Station. The application site is also located in a Controlled Parking Zone (Zone W2) and as such is located in an area of the borough subject to high parking stress.

7.6.2 London Plan Policy T6.1 requires all residential development that is located in areas of PTAL 6a to be car free. The proposed development would provide a total of nine off-street car parking spaces (including two disabled spaces), which would be accommodated in the basement. The proposed development would therefore provide (not including disabled space provision), 0.39 spaces per dwelling. It is considered that although this would exceed the maximum standards set out in the London Plan, it would not warrant a refusal of the application as it is not excessive. It should also be noted that the existing development provides a number of off-street car parking spaces including 3 garages, so the net uplift, despite 13 additional residential units being provided

on site would be minimal. Given the site is within a Controlled Parking Zone and has good access to public transport, the development will be required to be 'permit free', so that it complies with Policy CS.20 of the Core Planning Strategy, which states that the Council will support permit free developments in areas within CPZ's benefiting from good access to public transport (PTAL 4-6).

- 7.6.3 London Plan Policy T6.1 requires that for 3 per cent of dwellings, at least one designated disabled persons parking bay per dwelling is available from the outset, whilst demonstrating how an additional seven per cent of dwellings could be provided with one designated disabled persons parking space per dwelling in future upon request as soon as existing provision is insufficient. It is considered that given the proposed development provides two disabled spaces from the outset (i.e. a minimum of 10% of total spaces), that it complies with London Plan policy.
- 7.6.4 London Plan Policy T6.1 requires that all residential car parking spaces must provide infrastructure for electric or Ultra-Low Emission vehicles. At least 20 per cent of spaces should have active charging facilities, with passive provision for all remaining spaces. In this instance, all nine spaces would have electric charge points (i.e. be active), and as such would exceed the requirements of this policy. This will be secured by condition.
- 7.6.5 In terms of cycle parking, London Plan Policy T5 requires 1 long stay space per 1 bedroom (1 person) dwelling, 1.5 spaces per 1 bedroom (2 person) dwellings, and 2 spaces for all other dwellings, which means a total of 34 spaces should be provided. It also requires 2 short stay spaces for between 5 and 40 dwellings. It is considered that the proposal would comply with this policy given 34 long stay cycle spaces would be provided in a secure covered cycle store on the western boundary of the site, and 2 short stay spaces would be provided close to the communal entrance.
- 7.6.6 The development would be serviced on site and the applicant has provided swept path analysis showing how a light goods vehicle can enter and exit the site in forward gear. Bin storage would be located close to the front boundary, which means it is in an easily accessible location for waste collection, which would be done on-street. The Council's Transport Planner has raised no objection to the proposal.
- 7.6.7 Overall, it is considered that the proposal would comply with relevant planning policy relating to traffic and parking.

7.7 Trees

- 7.7.1 Policy DM O2 of the Adopted Merton Sites and Policies Plan and Policies Maps (July 2014) states that development will only be permitted if it will not damage or destroy any tree which is protected by a tree preservation order, is within a conservation area; or, has significant amenity value. Policy CS.13 in the Core Planning Strategy is similarly protective of trees with amenity value.

- 7.7.2 There are trees subject to Tree Preservation Order's within the site and adjacent on Leeward Gardens. The Council's Tree officer has outlined that most of the TPO trees at the site have been removed over the years and only the Sycamore and Horse Chestnut trees (labelled T8 and T9 on the submitted tree survey) are now subject to a TPO. In no. 26, there are also 2 trees, which are subject to TPO's, which are affected by this proposal. The Council's Tree Officer objected to the cutting back of a Hornbeam Tree at No.26 at the tree has a good even shape and this would disfigure that shape. The applicant has since confirmed that this tree would not be cut back.
- 7.7.3 The proposal requires the removal and replacement of 3 'B' category trees (1 x Ash, 1 x Indian Beam & Common Hornbeam) as well as some other less significant trees. Given these trees are not protected by a Tree Preservation Order, there is no objection to their removal. The Horse Chestnut tree, which is subject to a TPO (labelled T9 on the tree survey) is to be removed. There is no objection to this given it is now heavily decayed. A condition, will be attached securing replacement trees, with a requirement that some of these are planted close to the boundary with Harrowdene Court to provide some screening.

7.8 Sustainability and Energy

- 7.8.1 London Plan Policies SI 2 and SI 5 expects a minimum on-site reduction of CO2 emissions at least 35 per cent beyond Building Regulations for major developments. Residential development should achieve 10 per cent, and non-residential development should achieve 15 per cent through energy efficiency measures. Where it is clearly demonstrated that the zero-carbon target cannot be fully achieved on-site, any shortfall should be provided, in agreement with the borough, either: 1) through a cash in lieu contribution to the borough's carbon offset fund, or 2) off-site provided that an alternative proposal is identified and delivery is certain. Development proposals should also achieve mains water consumption of 105 litres or less per head per day.
- 7.8.2 The applicant has provided an updated energy statement which indicates that the proposed development will achieve a 64% improvement against Part L 2013 using a communal ground source heat pump and 8.4 kWp solar PV which exceeds the policy requirement. The remaining carbon shortfall of 10.7tCO₂/year will be offset at a rate of £95/tCO₂, with a total carbon offset contribution of £30,612 which will be secured via a S106 legal agreement. The applicant has also provided design stage water calculations which indicate that the proposed development will achieve internal water usage rates of less than 105 litres per person per day in line with Merton's minimum requirements. The Council's Climate Change Officer has raised no objection to the proposed energy strategy, subject to conditions and S106 Agreement to secure the carbon-off set contribution.

7.9 Drainage and Flood Risk

- 7.9.1 Policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) requires proposals that incorporate basements and subterranean development to include a hydrology report which set out the impacts of the

development on groundwater and surface water movements and how these will be addressed.

- 7.9.2 The site is not shown to be at high risk of surface water flooding as shown on the surface water flood maps and it is not located in flood zone associated with river flooding.
- 7.9.3 The application is supported by a Basement Impact Assessment (BIA) and Drainage/SuDS Strategy. The Council's Flood Engineer has assessed the proposal and considers it likely that groundwater (perched) will be found on excavation and hence dewatering will be required. Furthermore, the Council will seek additional mitigation (above those stated in the BIA) in terms of passive drainage measures around the structure given the relative gradient of Wimbledon Hill Rd to allow the free flow of perched groundwater around the structure. This will be secured by condition. Further, the Council's structural Engineer has assessed the proposal and outlines that the Basement Impact Assessment and supplementary information have demonstrated that the proposed development can be built safely without adversely affecting the surrounding natural and built environment.

7.10 Affordable Housing

- 7.10.1 Policy H4 of the London Plan 2021 has a strategic target of 50 per cent of all new homes delivered across London to be genuinely affordable. Planning policy CS 8 (Housing Choice) of Merton's Core Planning Strategy states that development proposals of 10 units or more require an on-site affordable housing target of 40% (60% social rented and 40% intermediate). In seeking affordable housing provision, the Council will have regard to site characteristics, such as its site size, its suitability and its economic of provision such as financial viability issues and other planning contributions. Affordable housing should be provided on site. Affordable housing must only be provided off-site or as a cash in lieu contribution in exceptional circumstances. A separate financial viability assessment will be required (for applications where they are not providing a policy compliant level (including tenure mix) of affordable housing and where they are not meeting the Mayor of London Affordable Housing and Viability SPG 2017 threshold).
- 7.10.2 The proposed development would comprise 18 self-contained residential units. The development will not provide any affordable housing and as such is not policy compliant. The applicant has provided a financial viability assessment, which states that the proposed development would generate a deficit of £3.89m and as such would not be viable if any affordable housing was provided. The financial viability assessment has been independently assessed by the Council's Viability Consultants, which concludes that although the deficit would likely be much lower (i.e. £154 – 194K), the development cannot provide any affordable housing. An early and late stage review mechanism would be applied in this instance to capture any uplift in value.

7.11 Fire safety

7.11.1 Policy D12 of the London Plan states that major applications should be accompanied by a fire statement, prepared by a suitably qualified third party assessor, demonstrating how the development proposals would achieve the highest standards of fire safety, including details of construction methods and materials, means of escape, fire safety features and means of access for fire service personnel. Additionally London Plan Policy D5 requires developments to incorporate safe and dignified emergency evacuation for all building users, with fire evacuation lifts suitable to be used to evacuate people who require level access from the buildings.

7.11.2 The application has not been accompanied by a Fire Statement as the application was submitted prior to the adoption of the London Plan 2021. Officers therefore consider that a condition securing this prior to commencement of development can be reasonably applied in this case.

8. ENVIRONMENTAL IMPACT ASSESSMENT

8.1 The application does not constitute Schedule 1 or Schedule 2 development. Accordingly, there are no requirements in terms of EIA submission.

9. LOCAL FINANCIAL CONSIDERATIONS

9.1 The proposal would result in a net gain in gross floor space and as such will be liable to pay a Community Infrastructure Levy (CIL).

10. SECTION 106 LEGAL AGREEMENT

10.1 Permit Free

10.2 The development is to be 'Permit Free' in line with policy CS.20 of the Core Planning Strategy, which seek to reduce reliance on private motor vehicles in locations with good access to public transport facilities.

10.4 Carbon Offset Contribution

10.5 Where it is clearly demonstrated that the zero-carbon target cannot be fully achieved on-site, policy SI 2 of the London Plan 2021, requires that any shortfall should be provided through a cash in lieu contribution to the borough's carbon offset fund. In this instance, there is a carbon shortfall of 10.7tCO₂/ year, which will be offset at a rate of £95/tCO₂, which equates to a total carbon offset contribution of £30,612.

10.6 Early and Late Stage Review (Affordable Housing)

10.7 In line with the Mayor's Housing SPG and the advice from the Council's viability consultants, early and late stage reviews are required to be included within the S106 Agreement in order to capture any uplift in value.

11. CONCLUSION

- 11.1 It is considered that the proposed development is a high quality design that responds well to both the topography of the site and architectural styles of surrounding buildings. It is also considered that the proposal would be acceptable in terms of its impact on residential amenity and standard of accommodation. In terms of parking and traffic impact it is noted that the application site has excellent access to public transport and is in a controlled parking zone, which means the residential units would be 'permit free' in line with policy requirements. The proposal would provide an increase density on a small site, striking a balance between site optimisation and surrounding constraints to the site, which is considered to be supported. Overall, it is considered that the proposal would comply with all relevant planning policies and as such planning permission should be granted.

RECOMMENDATION

GRANT PLANNING PERMISSION subject to the completion of a S106 agreement covering the following heads of terms:

- 1) Car park Permit Free
- 2) Carbon offset Financial Contribution (£30,612)
- 3) Incorporate early and late stage review for affordable housing
- 4) Paying the Council's legal and professional costs in drafting, completing and monitoring the legal agreement.

And subject to the following conditions:

1. A.1 (Commencement of Development)
2. A.7 (Approved plans)
3. B.1 (External Materials to be Approved)
5. C.7 (Refuse & Recycling (Implementation))
6. C.8 (No Use of Flat Roof)
7. C.9 (Balcony/Terrace (Screening))
8. D.11 (Construction Times)
9. F.1 (Landscaping/Planting Scheme)
10. F.2 (Landscaping (Implementation))
11. F.5 (Tree Protection)

12. F.8 (Site Supervision)
13. F.9 (Hardstandings)
14. H.4 (Provision of Vehicle Parking)
15. Electric Charge Points to be implemented prior to occupation and retained permanently thereafter.
14. H.7 (Cycle Parking to be Implemented)
15. Demolition/Construction Logistic Plan (including a Construction Management plan in accordance with TfL guidance)
16. Before the commencement of the development, details of the proposed green/brown roofs (including: species, planting density, substrate, a section drawing at scale 1:20 demonstrating the adequate depth availability for a viable green/brown; and a maintenance plan) shall be submitted to an approved in writing by the Local Planning Authority. The measures shall be implemented in accordance with the approved details and be permanently retained as such.

Reason: In order to conserve and enhance biodiversity and wildlife habitats in accordance with the provisions of policy CS.13 of Merton's Core Planning Strategy 2011.

17. Prior to the commencement of development, the applicant shall submit a detailed proposal on how drainage and groundwater will be managed and mitigated during (dewatering) and post construction (permanent phase), for example through the implementation of passive drainage measures around the basement structure.

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy 5.13.

18. Prior to the commencement of development, a detailed scheme for the provision of surface and foul water drainage shall be submitted to and approved in writing by the local planning authority for both phases of the development. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) to include a green roof, rainwater harvesting and will discharge at the agreed run-off rate of no more than 5l/s (and a volume of attenuation no less than 32m³), in accordance with drainage hierarchy contained within the London Plan Policy (5.12, 5.13 and SPG) and the advice contained within the National SuDS Standards

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy 5.13.

19. No piling shall take place until a Piling Method Statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement

Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure. Piling has the potential to significantly impact / cause failure of local underground sewerage utility infrastructure.

20. No construction shall take place within 5m of the water main. Information detailing how the developer intends to divert the asset / align the development, so as to prevent the potential for damage to subsurface potable water infrastructure, must be submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any construction must be undertaken in accordance with the terms of the approved information. Unrestricted access must be available at all times for the maintenance and repair of the asset during and after the construction works.

Reason: The proposed works will be in close proximity to underground strategic water main, utility infrastructure. The works has the potential to impact on local underground water utility infrastructure.

21. The development hereby permitted shall incorporate security measures to minimise the risk of crime and to meet the specific security needs of the development in accordance with the principles and objectives of Secured by Design. Details of these measures shall be submitted to and approved in writing by the local planning authority prior to commencement of the development and shall be implemented in accordance with the approved details prior to occupation.

Reason: In order to achieve the principles and objectives of Secured by Design to improve community safety and crime prevention in accordance with Policy CS.14 of Merton Core Strategy: Design, and Strategic Objectives 2 (b) and 5 (f); and Policy 7.3 Designing out Crime of the London Plan.

22. Prior to occupation a Secured by Design final certificate shall be submitted to and approved by the Local Planning Authority.

Reason: In order to achieve the principles and objectives of Secured by Design to improve community safety and crime prevention in accordance with Policy CS.14 of Merton Core Strategy: Design, and Strategic Objectives 2 (b) and 5 (f); and Policy 7.3 Designing out Crime of the London Plan.

23. Prior to commencement of works, a preliminary risk assessment, and investigation shall be undertaken to consider the potential for contaminated land. If necessary, a detailed remediation scheme to bring the site to a suitable

state for the intended use by removing unacceptable risks to health and the built environment, shall be submitted to and approved by the Local Planning Authority prior to commencement of works. The approved remediation works shall be completed in accordance with the approved details, and a verification report, demonstrating the then effectiveness of the remediation, shall be submitted and approved by the Local Planning Authority.

Reason: To protect the health of future users of the site in accordance with policy 5.21 of the London Plan 2016 and policy DM EP4 of Merton's sites and policies plan 2014.

24. No part of the development hereby approved shall be occupied until evidence has been submitted to the Local Planning Authority confirming that the development has achieved CO2 reductions in accordance with those outlined in the approved Environmental Statement Addendum, and wholesome water consumption rates of no greater than 105 litres per person per day.

Reason: In order to ensure that actual operational energy performance and water usage is minimised in compliance Policies SI 2 and SI 5 of the London Plan 2021.

25. In order to demonstrate compliance with the 'be seen' post-construction monitoring requirement of Policy SI 2 of the London Plan, the legal Owner shall at all times and all in all respects comply with the energy monitoring requirements set out in points a, b and c below. In the case of non-compliance the legal Owner shall upon written notice from the Local Planning Authority immediately take all steps reasonably required to remedy non-compliance.

a. Within four weeks of planning permission being issued by the Local Planning Authority, the Owner is required to submit to the GLA accurate and verified estimates of the 'be seen' energy performance indicators, as outlined in Chapter 3 'Planning stage' of the GLA 'Be seen' energy monitoring guidance document, for the consented development. This should be submitted to the GLA's monitoring portal in accordance with the 'Be seen' energy monitoring guidance.

b. Once the as-built design has been completed (upon commencement of RIBA Stage 6) and prior to the building(s) being occupied (or handed over to a new legal owner, if applicable), the legal Owner is required to provide updated accurate and verified estimates of the 'be seen' energy performance indicators for each reportable unit of the development, as per the methodology outlined in Chapter 4 'As-built stage' of the GLA 'Be seen' energy monitoring guidance. All data and supporting evidence should be uploaded to the GLA's monitoring portal. The owner should also confirm that suitable monitoring devices have been installed and maintained for the monitoring of the in-use energy performance indicators, as outlined in Chapter 5 'In-use stage' of the GLA 'Be seen' energy monitoring guidance document.

c. Upon completion of the first year of occupation following the end of the defects liability period (DLP) and for the following four years, the legal Owner is required to provide accurate and verified annual in-use energy performance

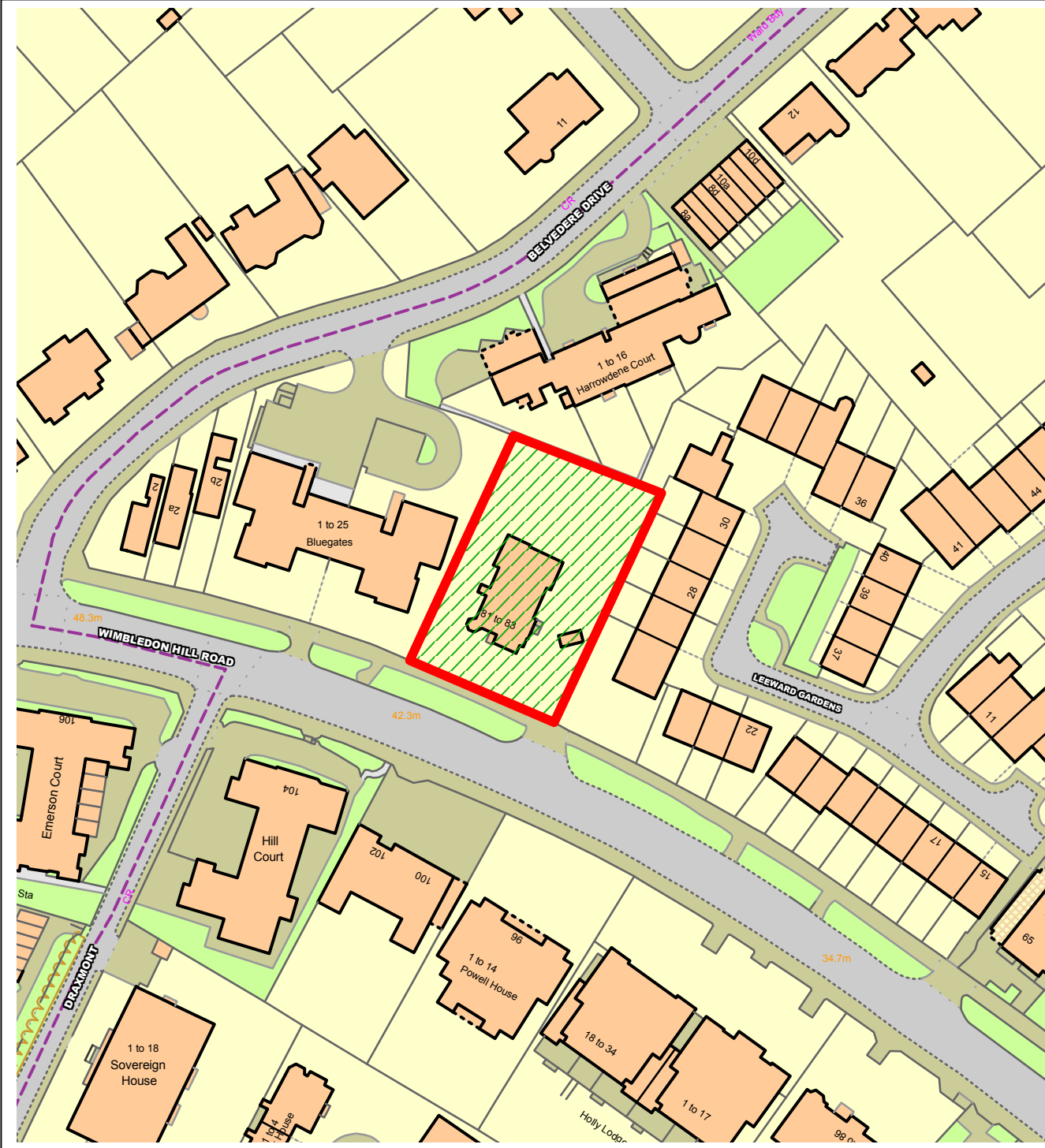
data for all relevant indicators under each reportable unit of the development as per the methodology outlined in Chapter 5 'In-use stage' of the GLA 'Be seen' energy monitoring guidance document. All data and supporting evidence should be uploaded to the GLA's monitoring portal. This condition will be satisfied after the legal Owner has reported on all relevant indicators included in Chapter 5 'In-use stage' of the GLA 'Be Seen' energy monitoring guidance document for at least five years.

Reason: In order to ensure that actual operational energy performance is minimised and demonstrate compliance with the 'be seen' post-construction monitoring requirement of Policy SI 2 of the London Plan 2021.

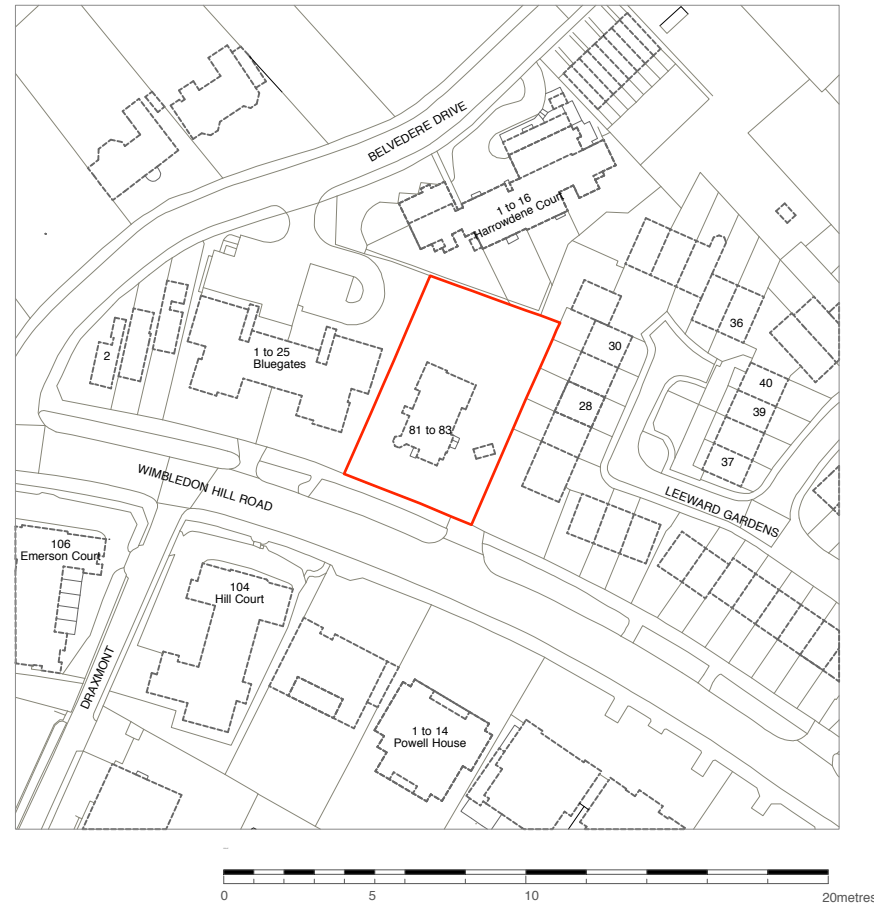
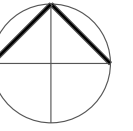
26. Prior to the commencement of developments a Fire Safety Statement and Strategy shall be submitted to and approved in writing by the Local Planning Authority. Prior to occupation of the residential development hereby approved the Fire safety measures detailed in the approved document shall be implemented and retained thereafter unless or until they require amendment in accordance with updated Fire Safety Regulations.

Reason: to provide a safe living environment and to reduce the risk of fire related danger in accordance with London Plan 2021 policy D12 and Merton Sites and Policies Plan 2014 policy DM D2.

NORTHGATE SE GIS Print Template



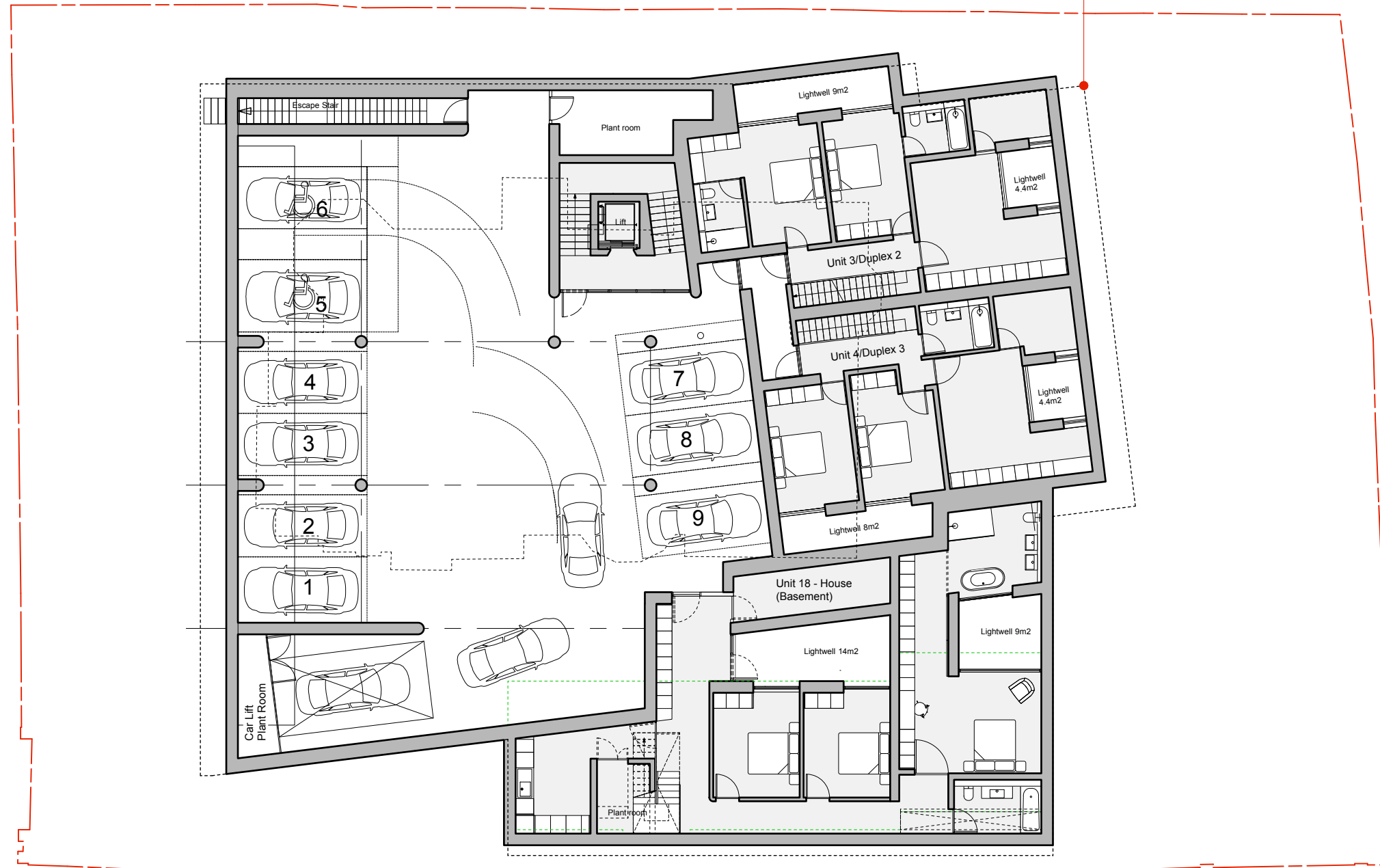
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LOCATION PLAN scale 1:1250 @ A3

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		REV	DESCRIPTION	DATE	NAME	NOTE																			
PL1	PLANNING issue	11/12/20	GV																						
DRAWING STATUS A1	<table border="1"> <tr> <td>DRAWN</td> <td>GV</td> <td>CHECKED</td> <td>AL</td> </tr> <tr> <td>DATE</td> <td>11.12.20</td> <td>SCALE</td> <td>1:100 @ A1 1:200 @ A3</td> </tr> </table>		DRAWN	GV	CHECKED	AL	DATE	11.12.20	SCALE	1:100 @ A1 1:200 @ A3	JOB NO. 2600	DRAWING NO. PL-001	REV. PL1												
DRAWN	GV	CHECKED	AL																						
DATE	11.12.20	SCALE	1:100 @ A1 1:200 @ A3																						

Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Basement -

Accommodation -
 Unit 3/Duplex - Basement floor GIA 85.0m² - 3bed 6person
 Unit 4/Duplex - Basement floor GIA 78m² - 3bed 6person
 Unit 18 House - Basement floor GIA 157m² - 3bed 6person
Accommodation - TOTAL - 320m² [3445ft²]
 Communal 23m² [Stair/lift core]
 Parking 424m²

TOTAL Basement GIA 870.5m² [9370.0ft²]

Parking spaces -
 - Spaces 1 - 9 for cars [plus charging point]
 - Spaces 5 & 6 for disabled cars [plus charging point]



PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	AL	
PL2	PLANNING issue	06/05/21	HM	
PL3	PLANNING issue	02/06/21	AL	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL4	PLANNING issue	06/07/21	AL	Drawing reissued post further revisions to upper floors, no revisions to this level

PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

DRAWING TITLE
**PROPOSED
 BASEMENT PLAN**

Powell Tuck Associates
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DRAWING STATUS

A1

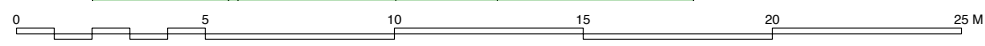
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JOB NO. **2600**
 DRAWING NO. **PL-002**
 REV. **PL4**



Ground -
 Accommodation -
 Unit 1/Flat - GIA 86m² - 2bed 4person
 Unit 2/Duplex - GIA 80m² - 3bed 6person
 Unit 3/Duplex - GIA 85m² - Living/kitchen/dining
 Unit 4/Duplex - GIA 82m² - Living/kitchen/dining
 House - GIA 103m² - Living/kitchen/dining
Accommodation - TOTAL - 438m² [4714ft²]
 Communal 49m²
TOTAL Ground GIA 487m² [5242ft²]



PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	AL	
PL2	PLANNING issue	26/03/21	HM	
PL3	PLANNING issue	06/05/21	HM	
PL4	PLANNING issue	02/06/21	AL	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL5	PLANNING issue	06/07/21	AL	Flat rear block depth altered to coordinate with front block

PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

DRAWING TITLE
**PROPOSED
 GROUND FLOOR PLAN**

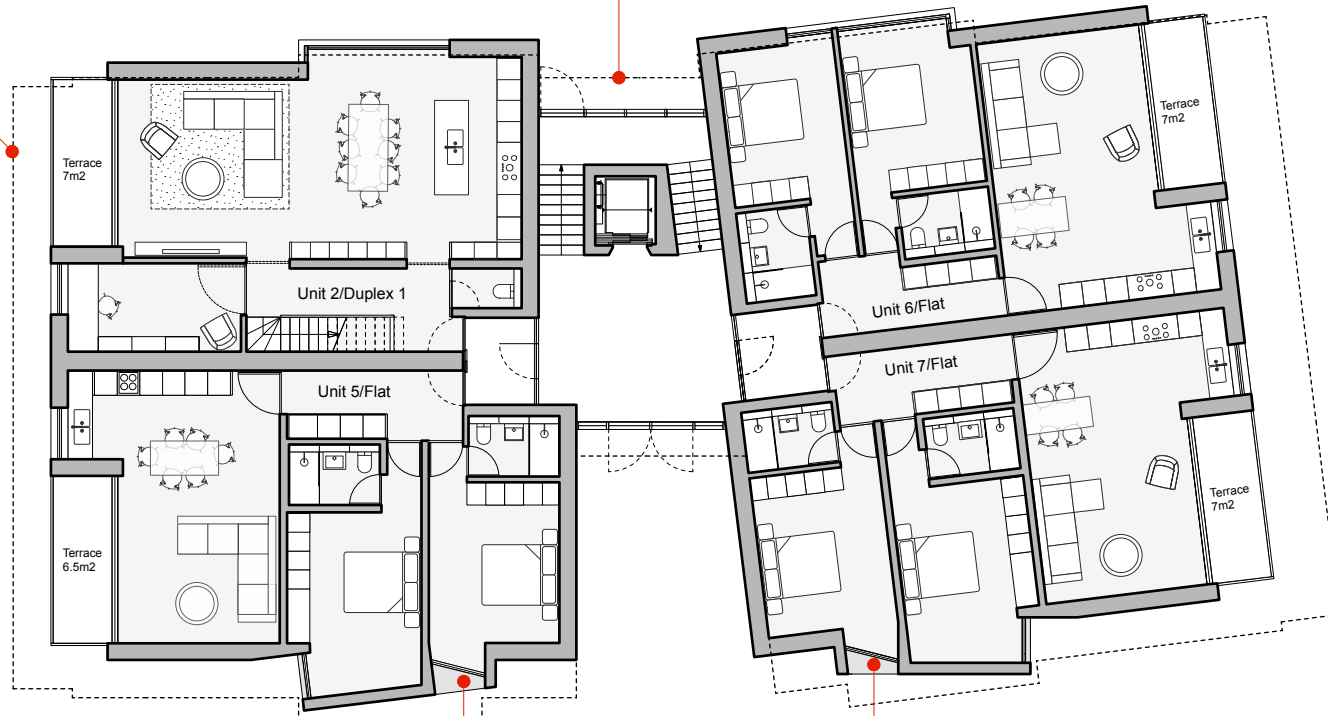
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 Design Phone +44 (0)20 8749 7700
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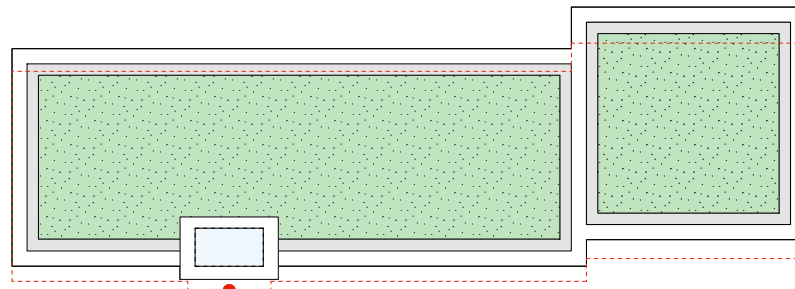
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 SCALE 1:200 @ A3

JOB NO. **2600**
 DRAWING NO. **PL-003**
 REV. **PL5**

Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Bay windows to corner bedrooms angled and indented to manage overlooking, central bedroom glazing moved to face front and rear, both design variation to submitted scheme (planning ref: 21/P0119)



Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



First -

Accommodation -
 Unit 2/Duplex - GIA 82m² - Living/Kitchen/Dining
 Unit 5/Flat - GIA 89m² - 2bed 4person
 Unit 6/Flat - GIA 86m² - 2bed 4person
 Unit 7/Flat - GIA 89m² - 2bed 4person
 Accommodation - TOTAL - 346m² [3724ft²]
 Communal 49m²

TOTAL First GIA 395m² [4252ft²]

PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	AL	
PL2	PLANNING issue	06/05/21	HM	
PL3	PLANNING issue	02/06/21	AL	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL4	PLANNING issue	06/07/21	AL	Bays of both blocks on elevation facing Leaward Gardens altered.

PROJECT TITLE

**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

DRAWING TITLE

**PROPOSED
 FIRST FLOOR PLAN**

Powell Tuck Associates

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DRAWING STATUS

A1

DRAWN AL/HM/GV/GE

DATE 11.12.20

CHECKED AL

SCALE 1:200 @ A3

JOB NO.

2600

DRAWING NO.

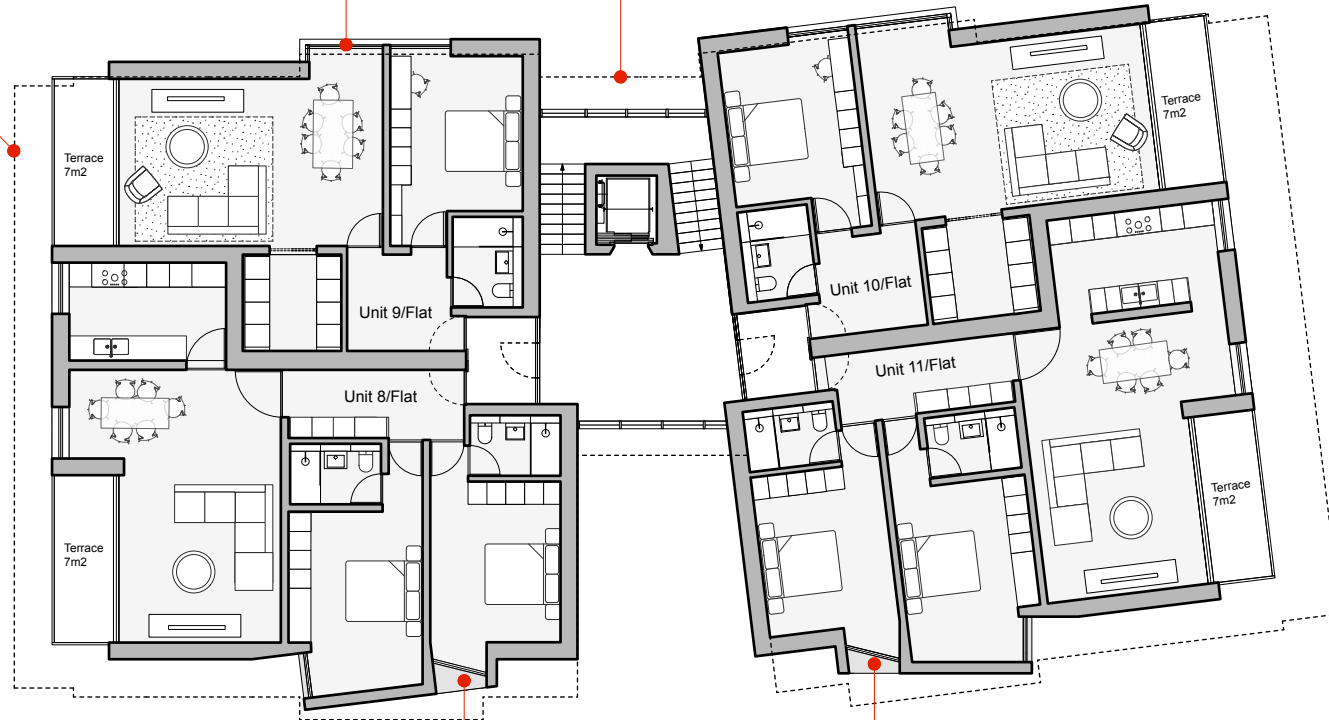
PL-004

REV.

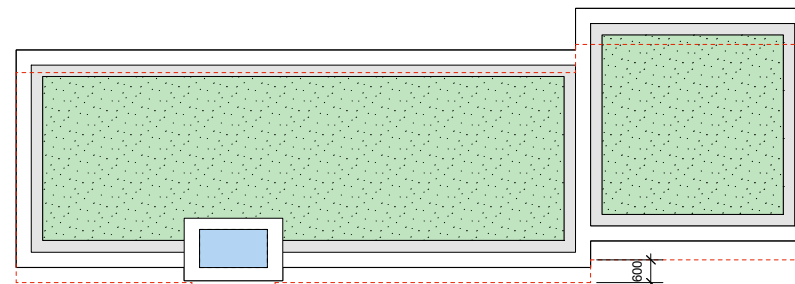
PL4

Obscured glass to dining windows facing adjacent building, change to originally submitted scheme (planning ref: 21/P0119)

Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Bay windows to corner bedrooms angled and indented to manage overlooking, central bedroom glazing moved to face front and rear, both design variation to submitted scheme (planning ref: 21/P0119)



Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Second -

Accommodation -
 Unit 8/Flat - GIA 102m² - 2bed 4person
 Unit 9/Flat - GIA 69m² - 1bed 2person
 Unit 10/Flat - GIA 71m² - 1bed 2person
 Unit 11/Flat - GIA 100m² - 2bed 4person
Accommodation - TOTAL - 342m² [3681ft²]
 Communal 49m²

TOTAL Second GIA 391m² [4209ft²]

PLANNING

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 5. Contractors, sub-contractors and suppliers must verify all dimensions on site prior to commencing any works or fabrication/shop drawings.

REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	AL	
PL2	PLANNING issue	06/05/21	HM	
PL3	PLANNING issue	02/06/21	AL	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL4	PLANNING issue	06/07/21	AL	Bays of both blocks on elevation facing Leaward Gardens altered, obscured glass to dining window to flats 9 & 10

PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

DRAWING TITLE
**PROPOSED
 SECOND FLOOR PLAN**

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A1

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CHECKED AL

DATE 11.12.20

SCALE 1:200 @ A3

JOB NO.

2600

DRAWING NO.

PL-005

REV.

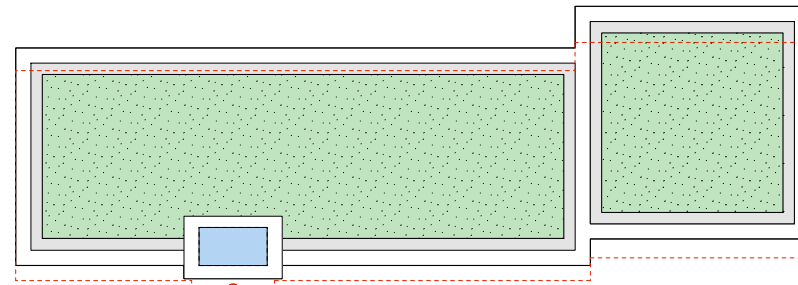
PL4

Obscured glass to dining windows facing adjacent building, change to originally submitted scheme (planning ref: 21/P0119)

Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Bay windows to corner bedrooms angled and indented to manage overlooking, central bedroom glazing moved to face front and rear, both design variation to submitted scheme (planning ref: 21/P0119)



Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Third -

Accommodation -
 Unit 8/Flat - GIA 102m² - 2bed 4person
 Unit 9/Flat - GIA 69m² - 1bed 2person
 Unit 10/Flat - GIA 71m² - 1bed 2person
 Unit 11/Flat - GIA 100m² - 2bed 4person
Accommodation - TOTAL - 342m² [3681ft²]
 Communal 49m²

TOTAL Second GIA 391m² [4209ft²]

PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	AL	
PL2	PLANNING issue	06/05/21	HM	
PL3	PLANNING issue	02/06/21	AL	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL4	PLANNING issue	06/07/21	AL	Bays of both blocks on elevation facing Leaward Gardens altered.

PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

DRAWING TITLE
**PROPOSED
 THIRD FLOOR PLAN**

Powell Tuck Associates
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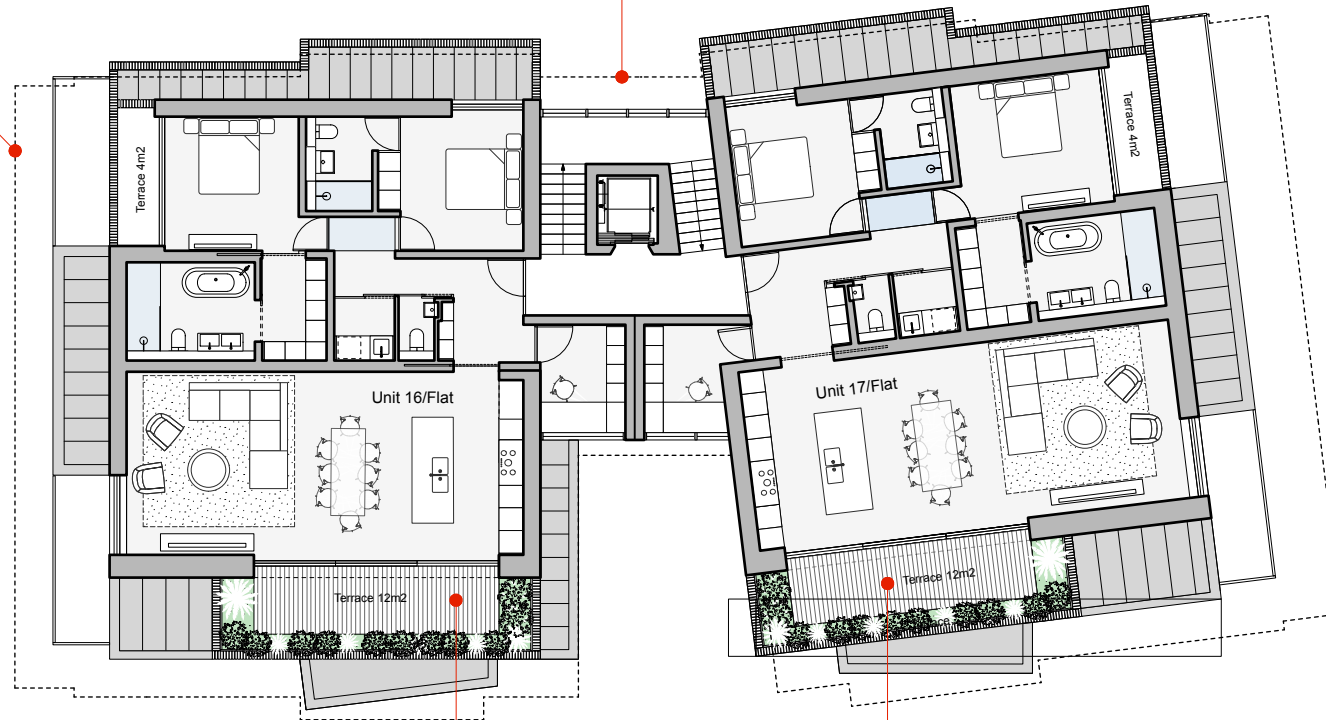
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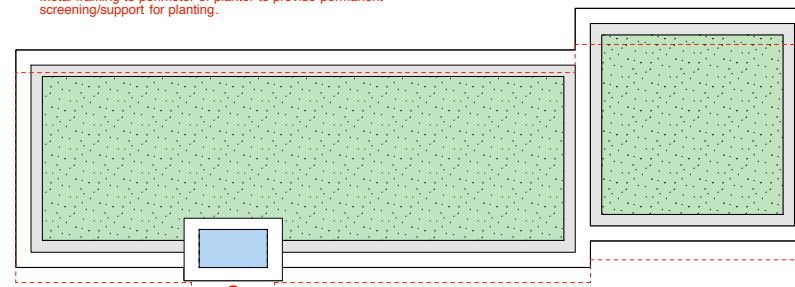
DRAWN AL/HM/GV/GE CHECKED AL
 DATE 11.12.20 SCALE 1:200 @ A3

JOB NO. 2600 DRAWING NO. PL-006 REV. PL4

Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Terrace size reduced and set back to manage overlooking, design variation to submitted scheme (planning ref: 21/P0119)
Metal framing to perimeter of planter to provide permanent screening/support for planting.



Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)

Fourth -

Accommodation -
Unit 16/Flat - GIA 126m² - 2bed 4person
Unit 17/Flat - GIA 133m² - 2bed 4person
Accommodation - TOTAL - 259m² [2788ft²]
Communal 24m²

TOTAL Fourth GIA 283m² [3046ft²]



PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	AL	
PL2	PLANNING issue	06/05/21	HM	
PL3	PLANNING issue	02/06/21	AL	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL4	PLANNING issue	06/07/21	AL	Terraces to bedrooms on Bluegate elevation removed, metal balustrade added to penthouse terraces

PROJECT TITLE

**81-83 WIMBLEDON HILL ROAD
LONDON
SW19 7QS**

DRAWING TITLE

**PROPOSED
FOURTH FLOOR PLAN**

DRAWN	AL/HM/GV/GE	CHECKED	AL
DATE	11.12.20	SCALE	1:200 @ A3

Powell Tuck Associates

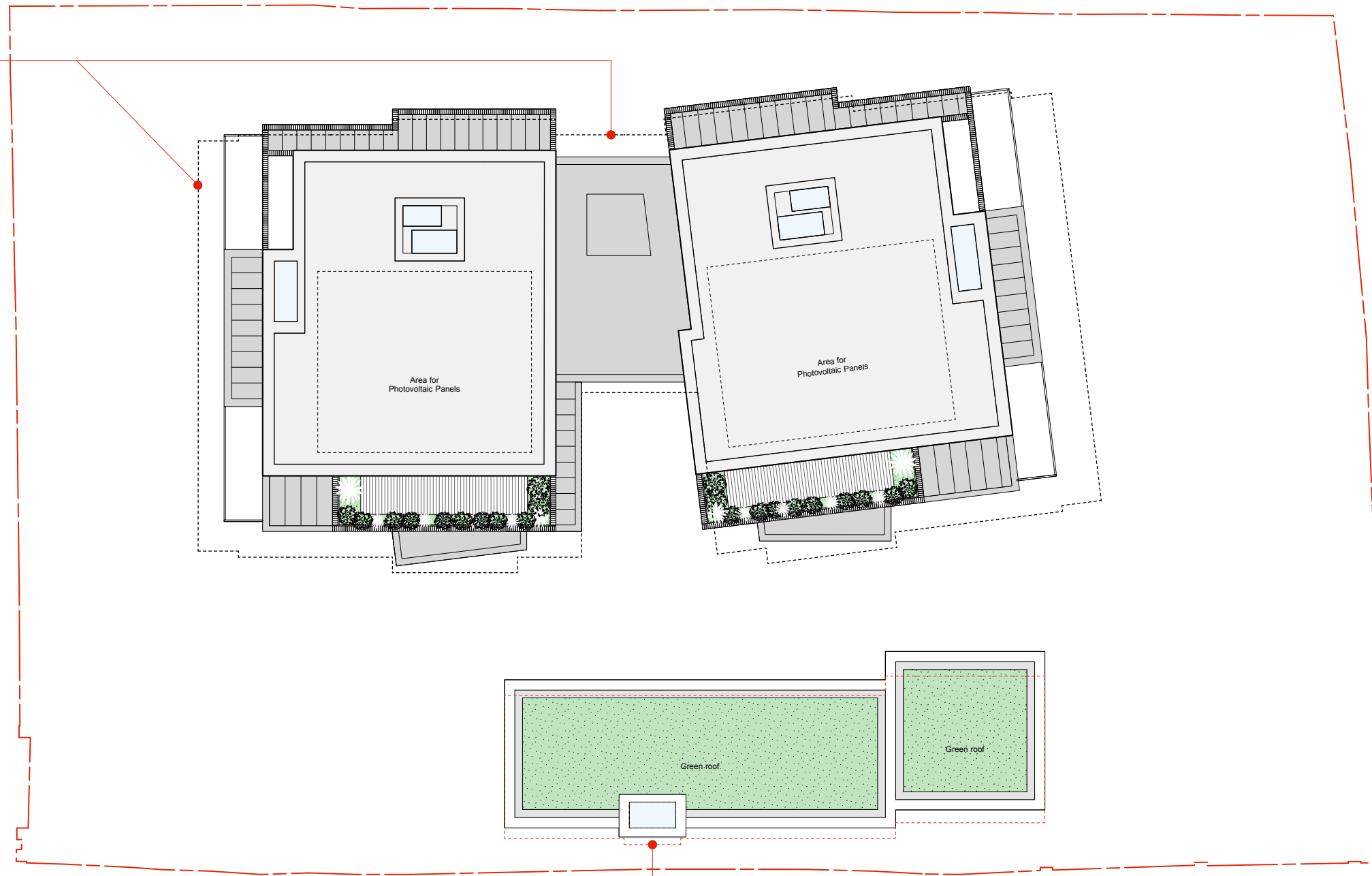
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Design Phone +44 (0)20 8749 7700
Fax +44 (0)20 8749 8737

JOB NO.	DRAWING NO.	REV.
2600	PL-007	PL4

DRAWING STATUS

A1

Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)



Accommodation schedule & GIAs -

Fourth -

Accommodation -
 Unit 16/Flat - GIA 126m² - 2bed 4person
 Unit 17/Flat - GIA 133m² - 2bed 4person
Accommodation - TOTAL - 259m² [2788ft²]
 Communal 24m²

TOTAL Fourth GIA 283m² [3046ft²]

Third -

Accommodation -
 Unit 8/Flat - GIA 102m² - 2bed 4person
 Unit 9/Flat - GIA 69m² - 1bed 2person
 Unit 10/Flat - GIA 71m² - 1bed 2person
 Unit 11/Flat - GIA 100m² - 2bed 4person
Accommodation - TOTAL - 342m² [3681ft²]
 Communal 49m²

TOTAL Second GIA 391m² [4209ft²]

Second -

Accommodation -
 Unit 8/Flat - GIA 102m² - 2bed 4person
 Unit 9/Flat - GIA 69m² - 1bed 2person
 Unit 10/Flat - GIA 71m² - 1bed 2person
 Unit 11/Flat - GIA 100m² - 2bed 4person
Accommodation - TOTAL - 342m² [3681ft²]
 Communal 49m²

TOTAL Second GIA 391m² [4209ft²]

First -

Accommodation -
 Unit 2/Duplex - GIA 82m² - Living/Kitchen/Dining
 Unit 5/Flat - GIA 89m² - 2bed 4person
 Unit 6/Flat - GIA 86m² - 2bed 4person
 Unit 7/Flat - GIA 89m² - 2bed 4person
Accommodation - TOTAL - 346m² [3724ft²]
 Communal 49m²

TOTAL First GIA 395m² [4252ft²]

Ground -

Accommodation -
 Unit 1/Flat - GIA 86m² - 2bed 4person
 Unit 2/Duplex - GIA 80m² - 3bed 6person
 Unit 3/Duplex - GIA 85m² - Living/kitchen/dining
 Unit 4/Duplex - GIA 82m² - Living/kitchen/dining
 House - GIA 103m² - Living/kitchen/dining
Accommodation - TOTAL - 438m² [4714ft²]
 Communal 49m²

TOTAL Ground GIA 487m² [5242ft²]

Basement -

Accommodation -
 Unit 3/Duplex - Basement floor GIA 85.0m² - 3bed 6person
 Unit 4/Duplex - Basement floor GIA 78m² - 3bed 6person
 Unit 18 House - Basement floor GIA 157m² - 3bed 6person
Accommodation - TOTAL - 320m² [3445ft²]
 Communal 23m² [Stair/lift core]
 Parking 424m²

TOTAL Basement GIA 870.5m² [9370.0ft²]

Parking spaces -
 - Spaces 1 - 9 for cars [plus charging point]
 - Spaces 5 & 6 for disabled cars [plus charging point]

TOTAL Scheme GIA 2714m² [29213ft²]

TOTAL Accommodation GIA 2047m² [22003ft²]
 TOTAL Communal [core] GIA 243m² [2615ft²]
 TOTAL Basement [parking] GIA 424m² [4564ft²]

PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	AL	
PL2	PLANNING issue	06/05/21	HM	
PL3	PLANNING issue	02/06/21	AL	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL4	PLANNING issue	06/07/21	AL	Terraces to bedrooms on Bluegate elevation removed, metal balustrade added to penthouse terraces, GIA's updated

PROJECT TITLE

81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS

DRAWING TITLE

PROPOSED
 ROOF PLAN

DRAWN AL/HM/GV/GE
 DATE 11.12.20

CHECKED AL
 SCALE 1:200 @ A3

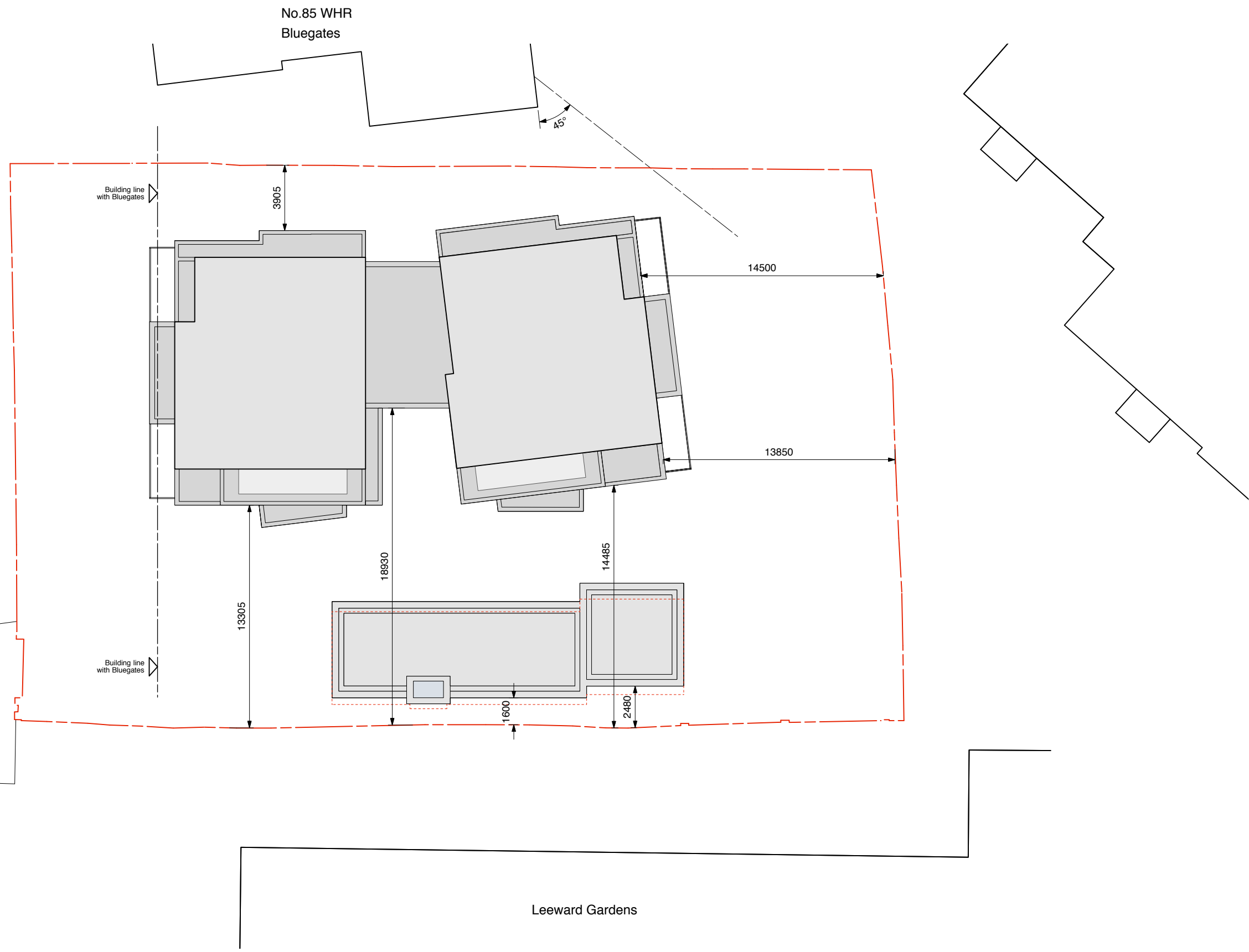
Powell Tuck Associates

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JOB NO.	DRAWING NO.	REV.
2600	PL-008	PL4

DRAWING STATUS

A1



PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
IF1	INFORMATION issue	05/05/21	HM	
PL1	PLANNING issue	06/05/21	HM	
PL2	PLANNING issue	02/06/21	AL	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL3	PLANNING issue	06/07/21	AL	Drawing update to coordinate with changes to Ground to Roof plans

PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

DRAWING TITLE			
PROPOSED BLOCK PLAN			
DRAWN	HM	CHECKED	AL
DATE	05.05.21	SCALE	1:250 @ A3

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JOB NO.	DRAWING NO.	REV.
2600	PL-021	PL3

DRAWING STATUS

A1



PROPOSED CONTEXTURAL STREET ELEVATION (SOUTH)



PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	GE	
PL2	PLANNING issue	01/04/21	HM	
PL3	PLANNING issue	06/05/21	HM	
PL4	PLANNING issue	02/06/21	GV	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL5	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation and house height reduction

PROJECT TITLE

81-83 WIMBLEDON HILL ROAD
LONDON
SW19 7QS

DRAWING TITLE

PROPOSED
CONTEXTURAL STREET ELEVATION

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Design Phone +44 (0)20 8749 7700
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DRAWING STATUS

A1

DRAWN GE/HM/AL

DATE 13.11.20

CHECKED AL

SCALE 1:200 @ A3

JOB NO.

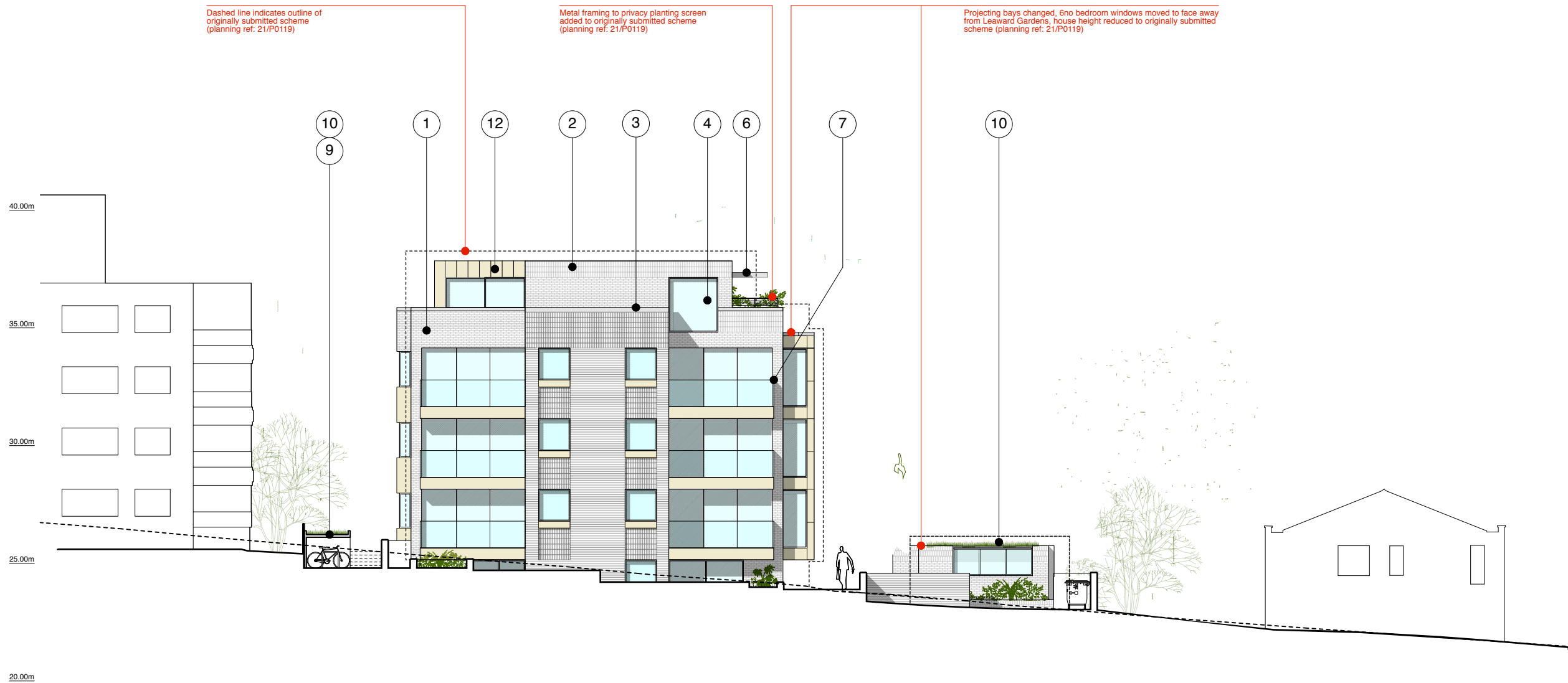
2600

DRAWING NO.

PL-009

REV.

PL5



PROPOSED SOUTH ELEVATION



External Materials Key

1. Brickwork - (Red London Stock)
2. Soldier Course - (Textured Red Brick)
3. Copings & Cills - (Reconstituted Stone natural finish)
4. Metal framed windows - (Dark grey frames/flushing panels)
5. Glazed curtain walling with vertical shading fins - (Colour to match window frames)
6. Bris Soleil - Metal screens with metal fixings (Colour as window frames)
7. Glazed balustrade
8. Timber Entrance Door
9. Modified timber bin & bike store
10. Green Roof
11. Metal panel - (Colour to match window frames)
12. Cladding Panel - Fibre Cement (Buff)
13. Metal framed angled windows - (Dark grey frames/flushing panels)

PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	GE	
PL2	PLANNING issue	01/04/21	HM	
PL3	PLANNING issue	06/05/21	HM	
PL4	PLANNING issue	02/06/21	GV	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL5	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation and house height reduction

PROJECT TITLE	81-83 WIMBLEDON HILL ROAD LONDON SW19 7QS
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DRAWING TITLE	PROPOSED SOUTH ELEVATION
DRAWN	GV/AL
CHECKED	AL
DATE	13.11.20
SCALE	1:200 @ A3

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JOB NO.	DRAWING NO.	REV.
2600	PL-010	PL5

DRAWING STATUS

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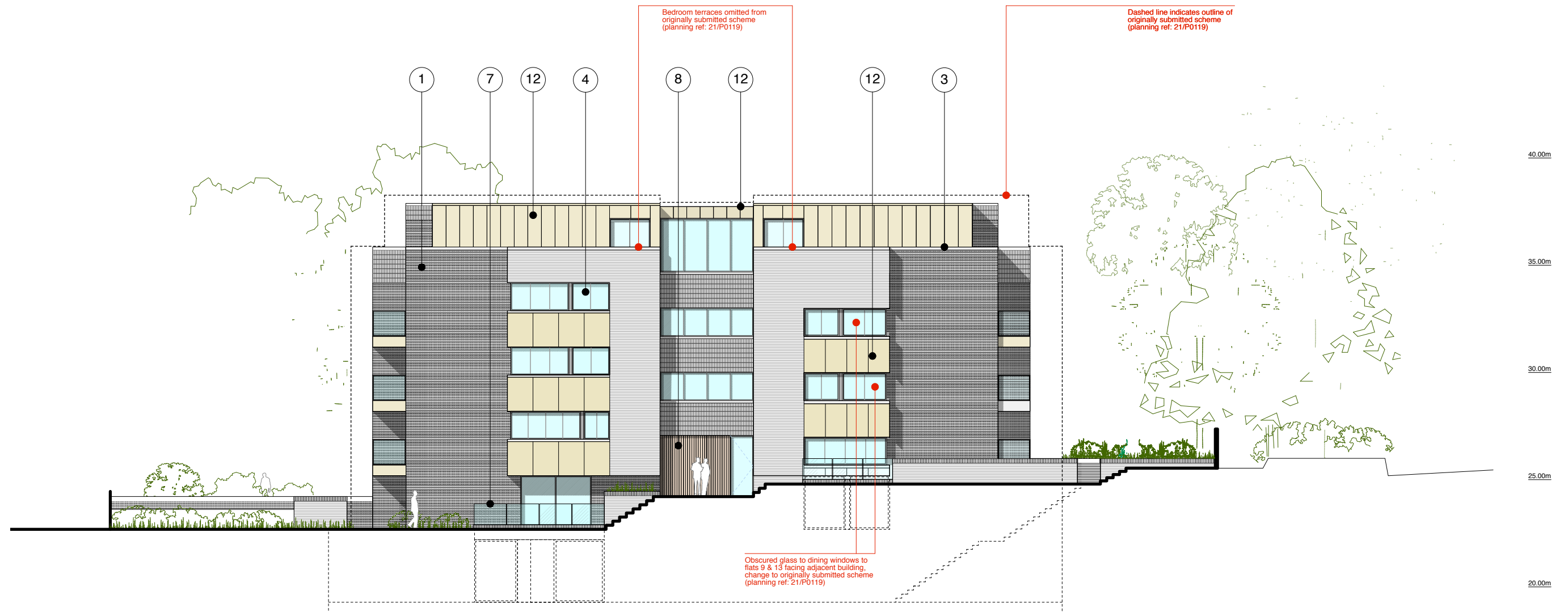
PROPOSED NORTH ELEVATION



External Materials Key

1. Brickwork - (Red London Stock)
2. Soldier Course - (Textured Red Brick)
3. Copings & Cills - (Reconstituted Stone natural finish)
4. Metal framed windows - (Dark grey frames/flushing panels)
5. Glazed curtain walling with vertical shading fins - (Colour to match window frames)
6. Bris Soliel - Metal screens with metal fixings (Colour as window frames)
7. Glazed balustrade
8. Timber Entrance Door
9. Modified timber bin & bike store
10. Green Roof
11. Metal panel - (Colour to match window frames)
12. Cladding Panel - Fibre Cement (Buff)
13. Metal framed angled windows - (Dark grey frames/flushing panels)

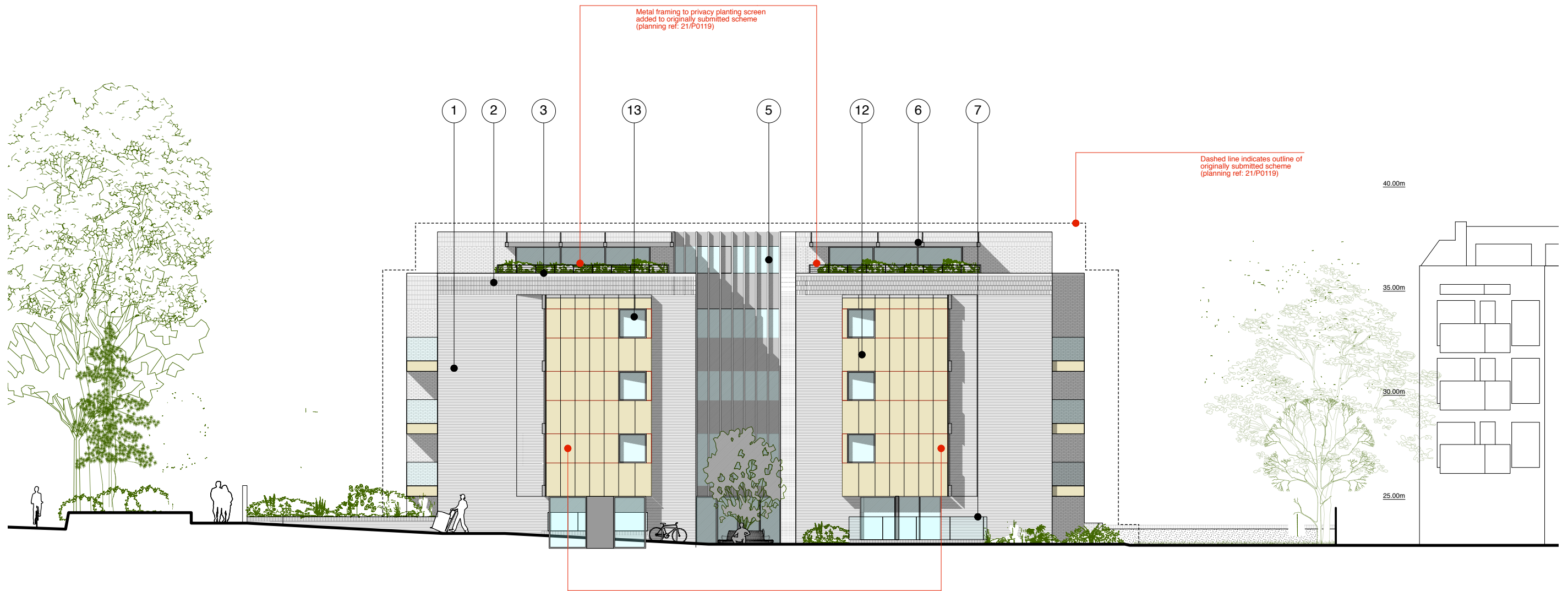
<p>PLANNING</p>		<p>DRAWING NOTES</p> <p>1. This drawing is copyright of Powell Tuck Associates (PTA) and must not be reproduced without prior written permission from PTA. All rights reserved.</p> <p>2. Do not scale from this drawing. All Dimensions on this drawing are marked in millimetres unless otherwise stated.</p> <p>3. This drawing should be read in conjunction with all project relevant specifications, schedules & drawings. Any discrepancies found should be referred immediately to PTA.</p> <p>4. This drawing should be removed immediately from currency once superseded by a revised issue.</p> <p>5. Contractors, sub-contractors and suppliers must verify all dimensions on site prior to commencing any works or fabrication/shop drawings.</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> <th>NAME</th> <th>NOTE</th> </tr> </thead> <tbody> <tr> <td>PL1</td> <td>PLANNING issue</td> <td>11/12/20</td> <td>GE</td> <td></td> </tr> <tr> <td>PL2</td> <td>PLANNING issue</td> <td>01/04/21</td> <td>GV</td> <td></td> </tr> <tr> <td>PL3</td> <td>PLANNING issue</td> <td>06/05/21</td> <td>GV</td> <td></td> </tr> <tr> <td>PL4</td> <td>PLANNING issue</td> <td>02/06/21</td> <td>GV</td> <td>Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes</td> </tr> <tr> <td>PL5</td> <td>PLANNING issue</td> <td>06/07/21</td> <td>AL</td> <td>Updated to reflect changes to Leaward Gardens elevation and house height reduction</td> </tr> </tbody> </table>	REV	DESCRIPTION	DATE	NAME	NOTE	PL1	PLANNING issue	11/12/20	GE		PL2	PLANNING issue	01/04/21	GV		PL3	PLANNING issue	06/05/21	GV		PL4	PLANNING issue	02/06/21	GV	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes	PL5	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation and house height reduction	<p>PROJECT TITLE</p> <p>81-83 WIMBLEDON HILL ROAD LONDON SW19 7QS</p>	<p>DRAWING TITLE</p> <p>PROPOSED NORTH ELEVATION</p>	<p>Powell Tuck Associates Architecture Design</p> <p>6 Stamford Brook Road, London, W6 0XH Phone +44 (0)20 8749 7700 Fax +44 (0)20 8749 8737</p>
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<p>DRAWING STATUS</p> <p>A1</p>	<table border="1"> <tr> <td> <p>DRAWN</p> <p>GV/AL</p> </td> <td> <p>CHECKED</p> <p>AL</p> </td> </tr> <tr> <td> <p>DATE</p> <p>13.11.20</p> </td> <td> <p>SCALE</p> <p>1:200 @ A3</p> </td> </tr> </table>	<p>DRAWN</p> <p>GV/AL</p>	<p>CHECKED</p> <p>AL</p>	<p>DATE</p> <p>13.11.20</p>	<p>SCALE</p> <p>1:200 @ A3</p>	<table border="1"> <tr> <td> <p>JOB NO.</p> <p>2600</p> </td> <td> <p>DRAWING NO.</p> <p>PL-011</p> </td> <td> <p>REV</p> <p>PL5</p> </td> </tr> </table>	<p>JOB NO.</p> <p>2600</p>	<p>DRAWING NO.</p> <p>PL-011</p>	<p>REV</p> <p>PL5</p>																											
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<p>JOB NO.</p> <p>2600</p>	<p>DRAWING NO.</p> <p>PL-011</p>	<p>REV</p> <p>PL5</p>																																		



PROPOSED WEST ELEVATION

- External Materials Key
1. Brickwork - (Red London Stock)
 2. Soldier Course - (Textured Red Brick)
 3. Copings & Cills - (Reconstituted Stone natural finish)
 4. Metal framed windows - (Dark grey frames/flushing panels)
 5. Glazed curtain walling with vertical shading fins - (Colour to match window frames)
 6. Bris Soliel - Metal screens with metal fixings (Colour as window frames)
 7. Glazed balustrade
 8. Timber Entrance Door
 9. Modified timber bin & bike store
 10. Green Roof
 11. Metal panel - (Colour to match window frames)
 12. Cladding Panel - Fibre Cement (Buff)
 13. Metal framed angled windows - (Dark grey frames/flushing panels)

<p>PLANNING</p>		<p>DRAWING NOTES</p> <p>1. This drawing is copyright of Powell Tuck Associates (PTA) and must not be reproduced without prior written permission from PTA. All rights reserved.</p> <p>2. Do not scale from this drawing. All Dimensions on this drawing are marked in millimetres unless otherwise stated.</p> <p>3. This drawing should be read in conjunction with all project relevant specifications, schedules & drawings. Any discrepancies found should be referred immediately to PTA.</p> <p>4. This drawing should be removed immediately from currency once superseded by a revised issue.</p> <p>5. Contractors, sub-contractors and suppliers must verify all dimensions on site prior to commencing any works or fabrication/shop drawings.</p>				<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> <th>NAME</th> <th>NOTE</th> </tr> </thead> <tbody> <tr> <td>PL1</td> <td>PLANNING issue</td> <td>11/12/20</td> <td>GE</td> <td></td> </tr> <tr> <td>PL2</td> <td>PLANNING issue</td> <td>01/04/21</td> <td>HM</td> <td></td> </tr> <tr> <td>PL3</td> <td>PLANNING issue</td> <td>06/05/21</td> <td>HM</td> <td></td> </tr> <tr> <td>PL4</td> <td>PLANNING issue</td> <td>02/06/21</td> <td>GV</td> <td>Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes</td> </tr> <tr> <td>PL5</td> <td>PLANNING issue</td> <td>06/07/21</td> <td>AL</td> <td>Obscured glass to dining windows to flats 9 & 13, refer to plans for flat location, terraces to rear penthouse bedrooms omitted</td> </tr> </tbody> </table>				REV	DESCRIPTION	DATE	NAME	NOTE	PL1	PLANNING issue	11/12/20	GE		PL2	PLANNING issue	01/04/21	HM		PL3	PLANNING issue	06/05/21	HM		PL4	PLANNING issue	02/06/21	GV	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes	PL5	PLANNING issue	06/07/21	AL	Obscured glass to dining windows to flats 9 & 13, refer to plans for flat location, terraces to rear penthouse bedrooms omitted	<p>PROJECT TITLE</p> <p>81-83 WIMBLEDON HILL ROAD LONDON SW19 7QS</p>		<p>DRAWING TITLE</p> <p>PROPOSED EAST ELEVATION</p>		<p>Powell Tuck Associates Architecture 6 Stamford Brook Road, London, W6 0XH Design Phone +44 (0)20 8749 7700 Fax +44 (0)20 8749 8737</p>		
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<p>DRAWN</p> <p>GV/AL</p>	<p>CHECKED</p> <p>AL</p>																																													
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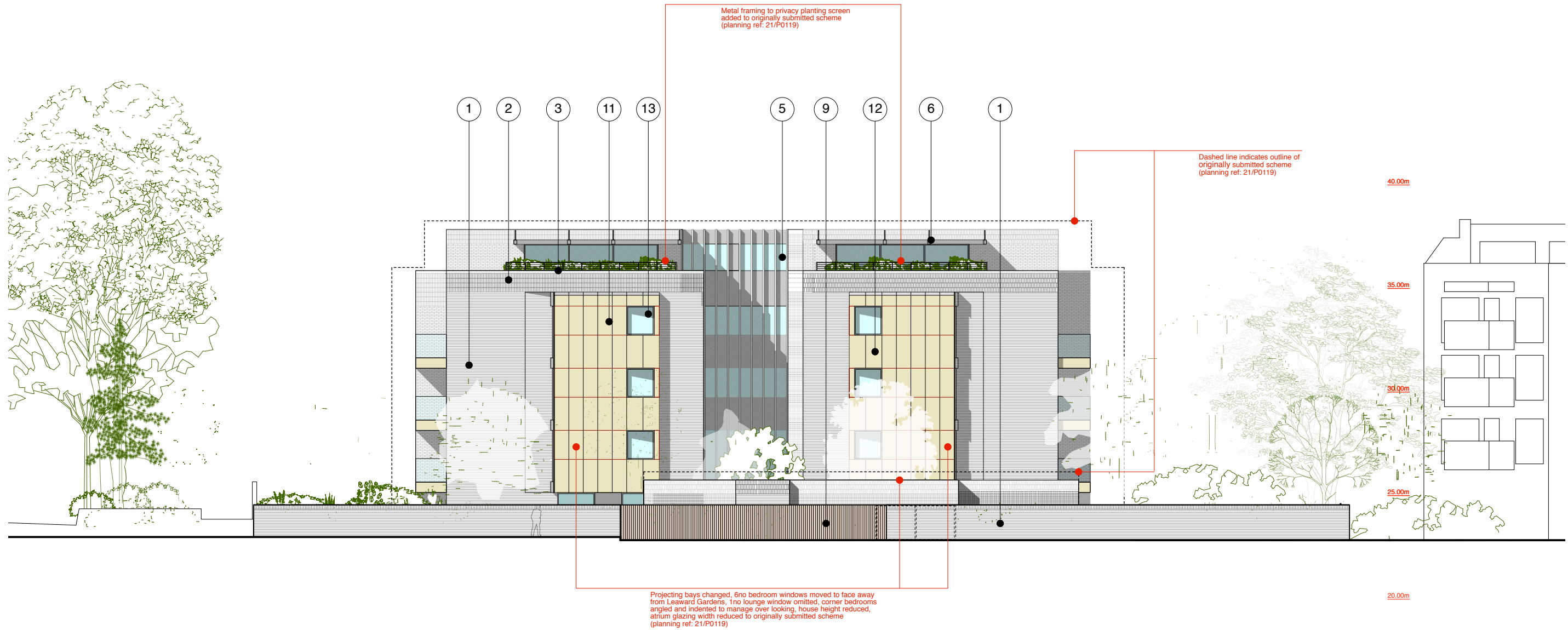
PROPOSED SOUTH ELEVATION



External Materials Key

1. Brickwork - (Red London Stock)
2. Soldier Course - (Textured Red Brick)
3. Copings & Cills - (Reconstituted Stone natural finish)
4. Metal framed windows - (Dark grey frames/flushing panels)
5. Glazed curtain walling with vertical shading fins - (Colour to match window frames)
6. Bris Soliel - Metal screens with metal fixings (Colour as window frames)
7. Glazed balustrade
8. Timber Entrance Door
9. Modified timber bin & bike store
10. Green Roof
11. Metal panel - (Colour to match window frames)
12. Cladding Panel - Fibre Cement (Buff)
13. Metal framed angled windows - (Dark grey frames/flushing panels)

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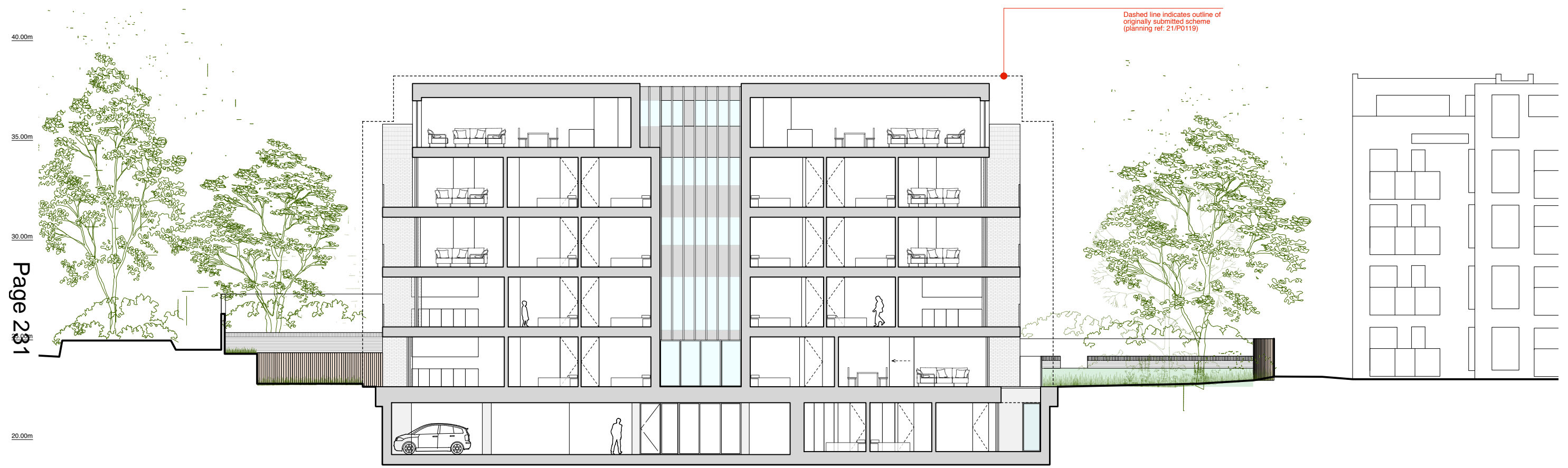
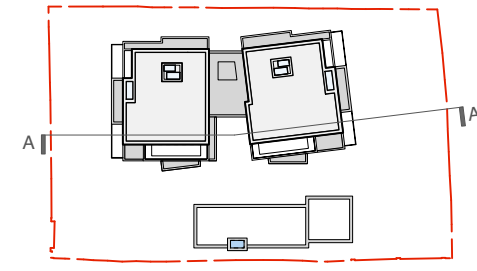
PROPOSED SOUTH ELEVATION INCLUDING LEAWARD GARDENS BOUNDARY



External Materials Key

1. Brickwork - (Red London Stock)
2. Soldier Course - (Textured Red Brick)
3. Copings & Cills - (Reconstituted Stone natural finish)
4. Metal framed windows - (Dark grey frames/flushing panels)
5. Glazed curtain walling with vertical shading fins - (Colour to match window frames)
6. Bris Soliel - Metal screens with metal fixings (Colour as window frames)
7. Glazed balustrade
8. Timber Entrance Door
9. Modified timber bin & bike store
10. Green Roof
11. Metal panel - (Colour to match window frames)
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DRAWING STATUS	A1	DRAWN	GV/HM/AL	CHECKED	AL	JOB NO.	2600	DRAWING NO.	PL-020	REV	PL5																																		
		DATE	13.11.20	SCALE	1:200 @ A3																																								



Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)

40.00m
35.00m
30.00m
20.00m

Page 28/31

PROPOSED SECTION A



PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
PL1	PLANNING issue	11/12/20	GV	
PL2	PLANNING issue	01/04/21	GV	
PL3	PLANNING issue	07/05/21	GV	
PL4	PLANNING issue	02/06/21	GV	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL5	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation

PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

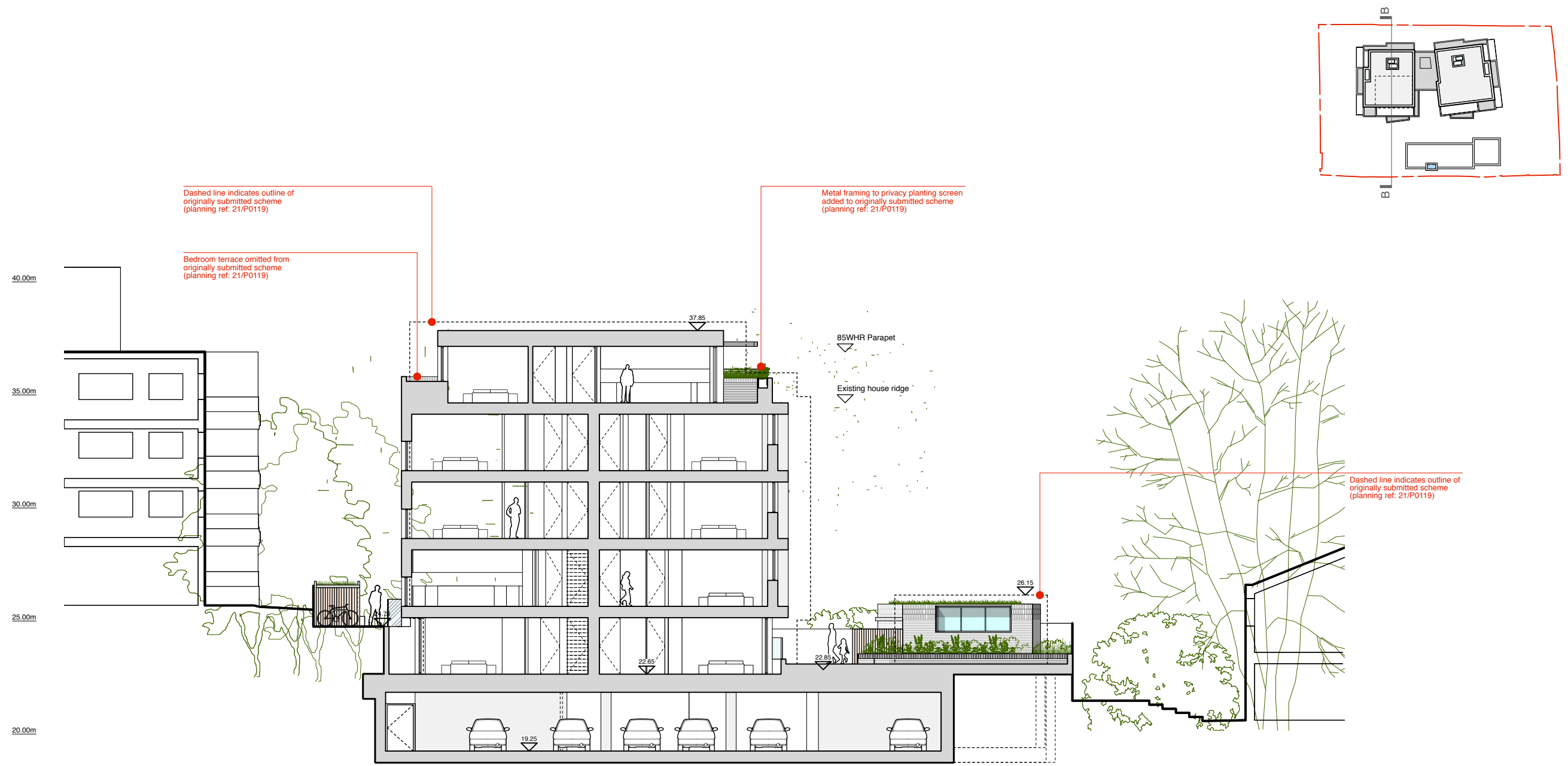
DRAWING TITLE
**PROPOSED
 SECTION AA**

DRAWN: GV/HM/AL
 CHECKED: AL
 DATE: 11.12.20
 SCALE: 1:200 @ A3

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JOB NO. **2600**
 DRAWING NO. **PL-014**
 REV. **PL5**

DRAWING STATUS: **A1**



PROPOSED SECTION B



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PL5	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation and house height reduction

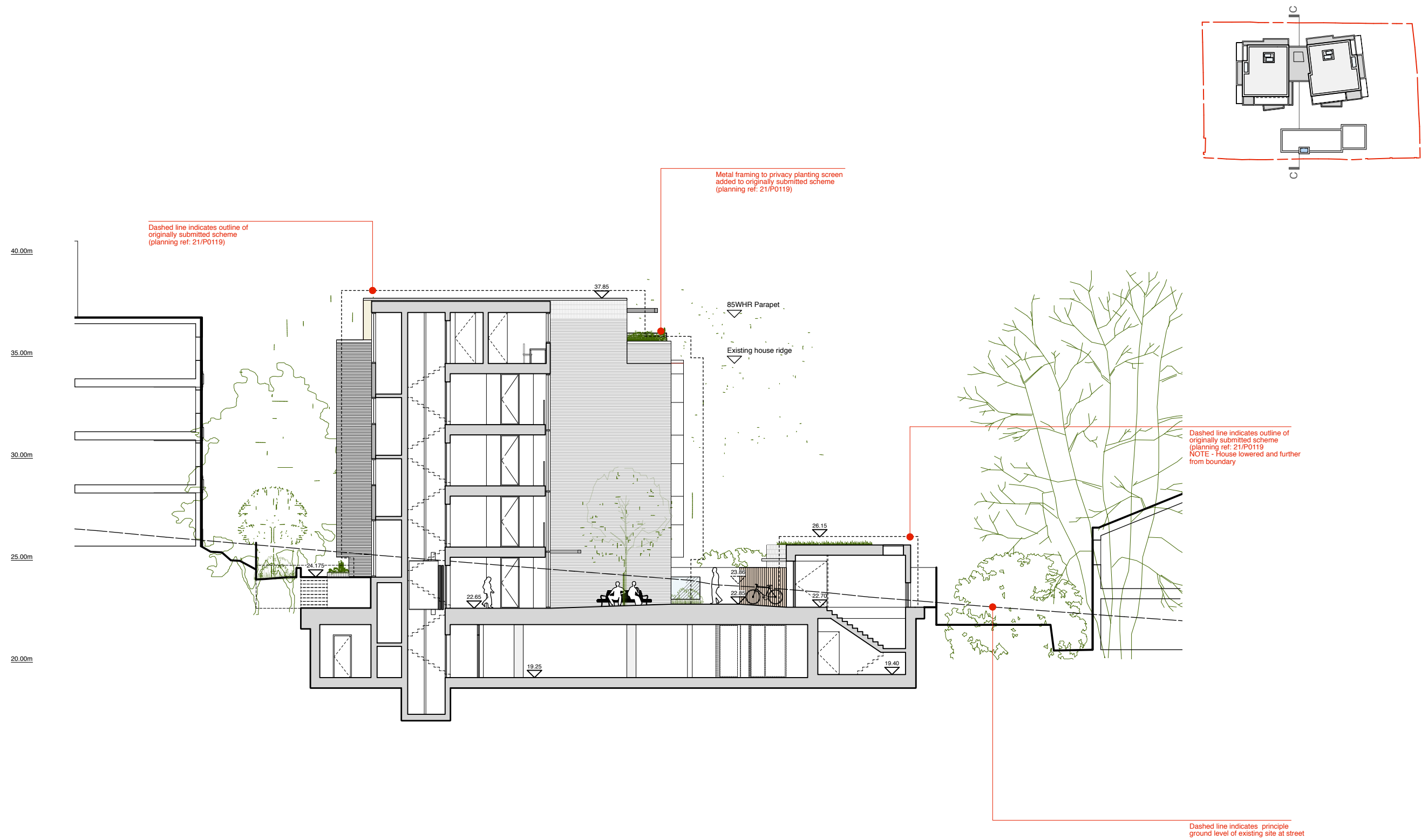
PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

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PROPOSED SECTION BB	
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DATE	SCALE
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JOB NO.	DRAWING NO.	REV.
2600	PL-015	PL5

DRAWING STATUS

A1



PROPOSED SECTION C



PLANNING

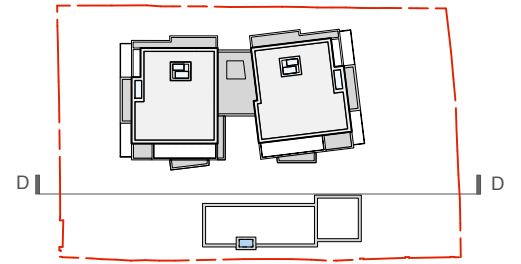
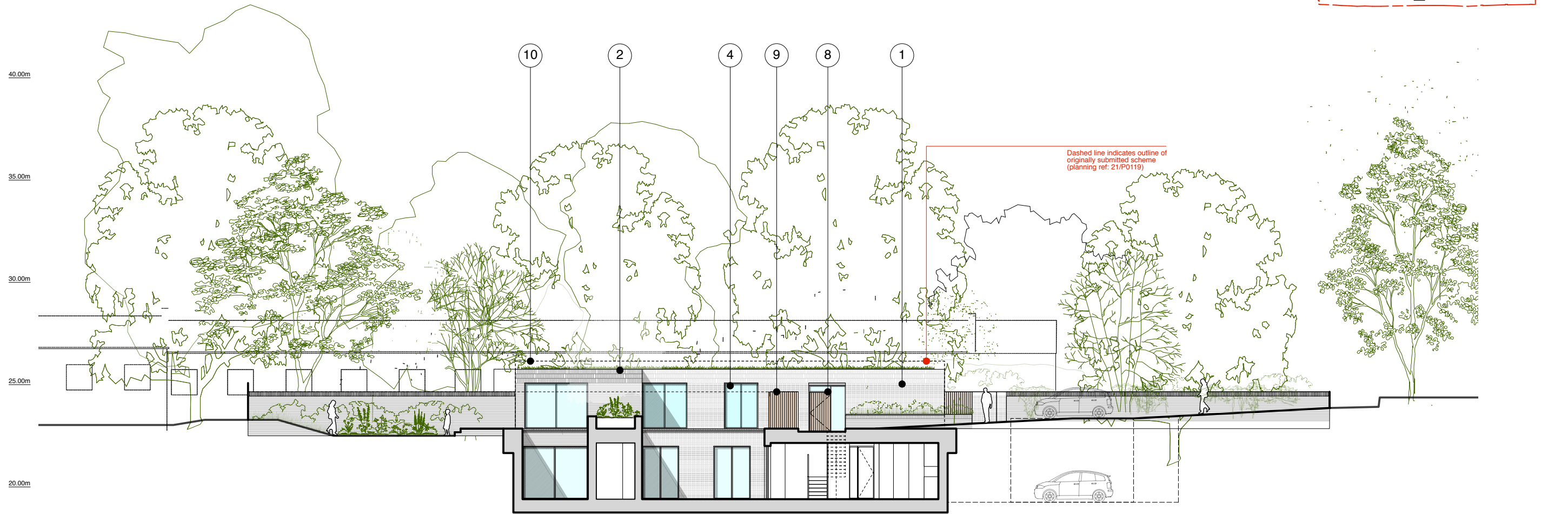
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PL1	PLANNING issue	11/12/20	GV	
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PL3	PLANNING issue	06/05/21	GV	
PL4	PLANNING issue	02/06/21	GV	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL5	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation and house height reduction

PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

DRAWING TITLE	
PROPOSED SECTION CC	
DRAWN	AL/HM/GV/GE
DATE	11.12.20
CHECKED	AL
SCALE	1:200 @ A3

Powell Tuck Associates		
Architecture Design	6 Stamford Brook Road, London, W6 0XH Phone +44 (0)20 8749 7700 Fax +44 (0)20 8749 8737	
JOB NO.	DRAWING NO.	REV.
2600	PL-016	PL5



Dashed line indicates outline of originally submitted scheme (planning ref: 21/P0119)

PROPOSED SECTION D



- External Materials Key
1. Brickwork - (Red London Stock)
 2. Soldier Course - (Textured Red Brick)
 3. Copings & Cills - (Reconstituted Stone natural finish)
 4. Metal framed windows - (Dark grey frames/flushing panels)
 5. Glazed curtain walling with vertical shading fins - (Colour to match window frames)
 6. Bris Soleil - Metal screens with metal fixings (Colour as window frames)
 7. Glazed balustrade
 8. Timber Entrance Door
 9. Modified timber bin & bike store
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PLANNING

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PL5	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation and house height reduction

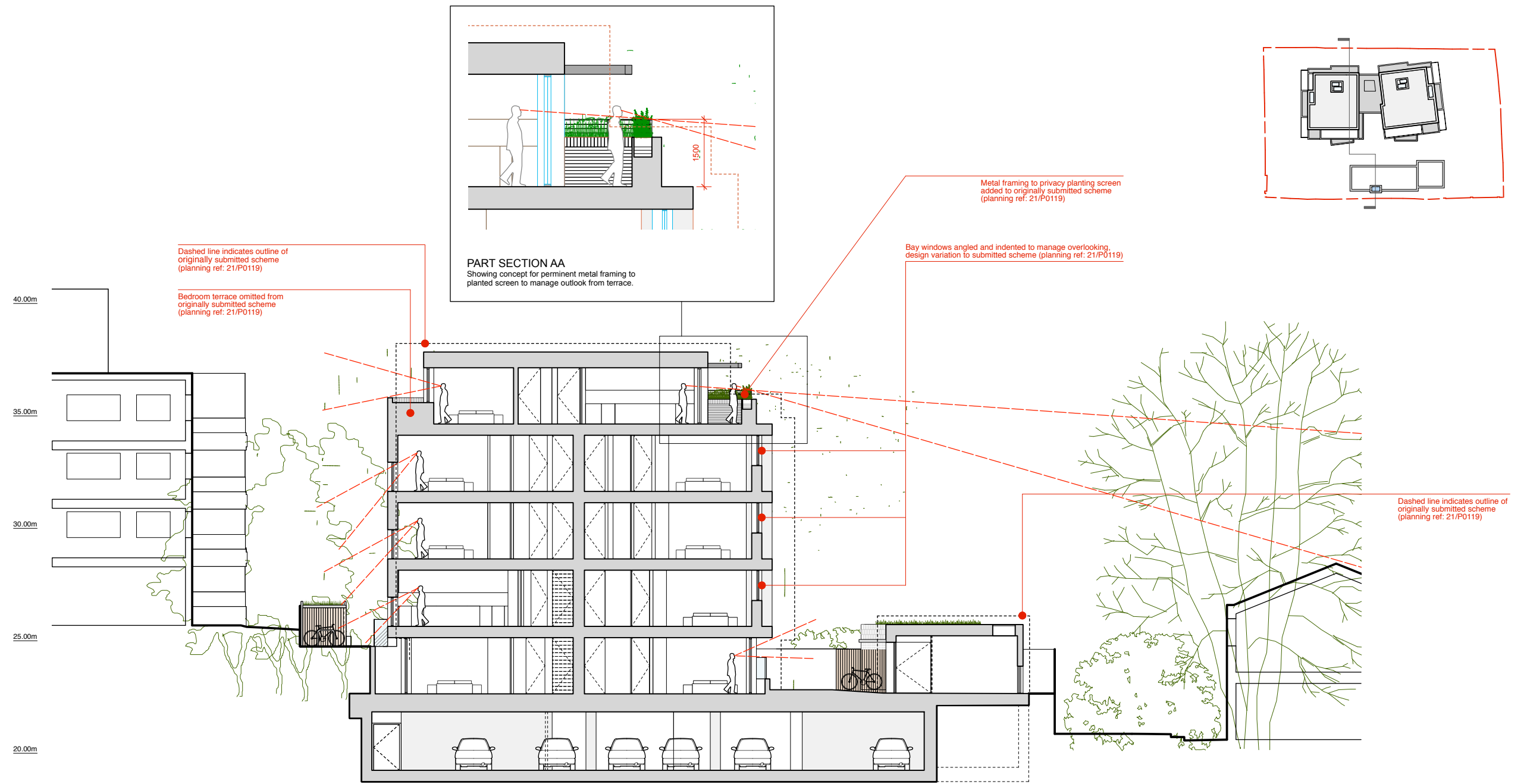
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**81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS**

DRAWING TITLE
**PROPOSED
 SECTION DD**

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 CHECKED AL
 DATE 11.12.20
 SCALE 1:200 @ A3

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JOB NO. 2600
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 REV. PL5



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PL3	PLANNING issue	06/05/21	GV	
PL4	PLANNING issue	02/06/21	GV	Flat block reduced in width, house moved further from Leaward Gardens boundary, and scheme update to accord with changes
PL5	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation, house height reduction, penthouse terrace balustrade detail added

PROJECT TITLE
 81-83 WIMBLEDON HILL ROAD
 LONDON
 SW19 7QS

DRAWING TITLE
PROPOSED
 Sight Lines Diagram

DRAWN AL/HM/GV/GE
 DATE 11.12.20
 CHECKED AL
 SCALE 1:200 @ A3

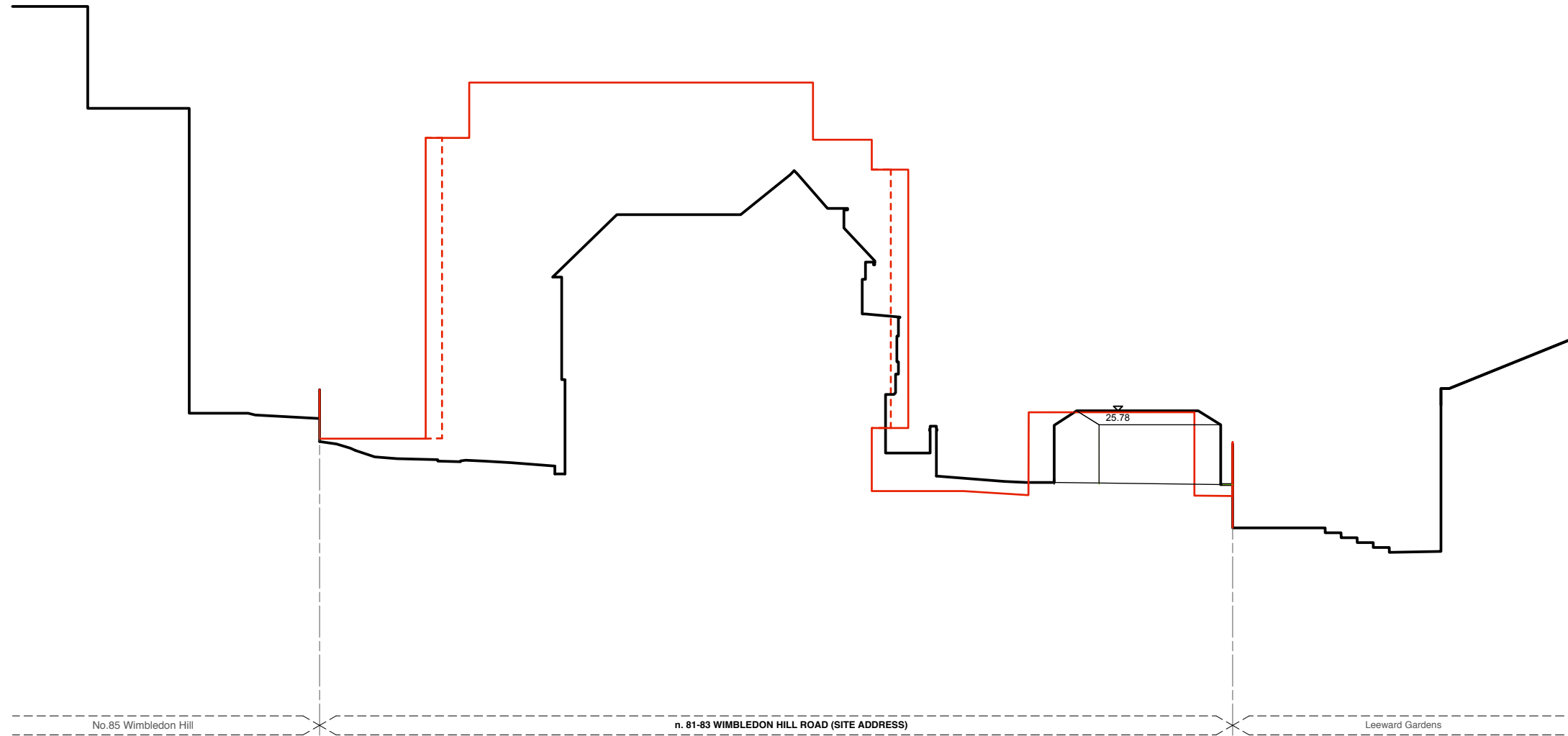
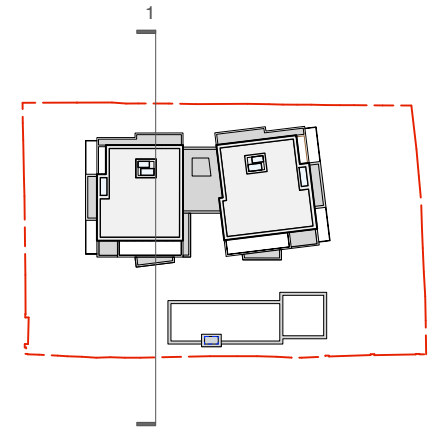
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JOB NO. 2600
 DRAWING NO. PL-019
 REV. PL5

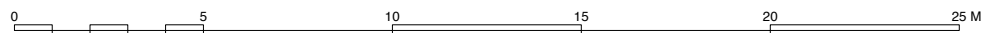
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— Existing
— Proposed



PLANNING

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REV	DESCRIPTION	DATE	NAME	NOTE
IF1	INFORMATION issue	04/05/21	GV	
PL1	PLANNING issue	06/05/21	GV	
PL2	PLANNING issue	02/06/21	AL	House moved further from Leaward Gardens boundary, roof lowered, garage detail updated to reflect pitched roof to garages
PL3	PLANNING issue	06/07/21	AL	Updated to reflect changes to Leaward Gardens elevation, house height reduction

PROJECT TITLE
**81-83 WIMBLEDON HILL ROAD
LONDON
SW19 7QS**

DRAWING TITLE
**Existing and Proposed Height/Mass Comparison
Diagram - Section 1**

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Design Phone +44 (0)20 8749 7700
Fax +44 (0)20 8749 8737

DRAWING STATUS

A1

DRAWN GV/AL

DATE 04.05.21

CHECKED AL

SCALE 1:200 @ A3

JOB NO.

2600

DRAWING NO.

SK-100

REV.

PL3

Committee: Planning Applications

Date: 9th December 2021

Subject: Planning Appeal Decisions

Lead officer: Head of Sustainable Communities

Lead member: Chair, Planning Applications Committee

Recommendation:

That Members note the contents of the report.

1. PURPOSE OF REPORT AND EXECUTIVE SUMMARY

- 1.1 For Members' information recent decisions made by Inspectors appointed by the Secretary of State for Communities and Local Government in respect of recent Town Planning Appeals are set out below.
- 1.2 The relevant Inspectors decision letters are not attached to this report but can be viewed by following each individual link. Other agenda papers for this meeting can be viewed on the Committee Page of the Council Website via the following link:

[LINK TO COMMITTEE PAGE](#)

DETAILS

Application Number **19/P1676**

Appeal number: APP/T5720/W/20/3253478

Site: 579-589 Kingston Road, Raynes Park SW20 8SD

Development: SCHEME A - DEMOLITION OF EXISTING BUILDINGS AND REDEVELOPMENT OF SITE TO PROVIDE OFFICE SPACE AND RESIDENTIAL UNITS IN BUILDINGS OF TWO TO SIX STOREYS, COMPRISING 118 SELF-CONTAINED FLATS, CAR AND CYCLE PARKING, VEHICLE ACCESS, LANDSCAPING, PLANT AND ASSOCIATED WORKS

LPA Recommendation: Grant subject to 106 (Refused at Committee)

Appeal Decision: **ALLOWED**

Date of Appeal Decision: 12th November 2021

Application Number **19/P1675**
Appeal number: APP/T5720/W/20/3253482
Site: 579-589 Kingston Road, Raynes Park SW20 8SD
Development: SCHEME B - DEMOLITION OF EXISTING BUILDINGS AND REDEVELOPMENT OF SITE TO PROVIDE OFFICE SPACE AND RESIDENTIAL UNITS IN BUILDINGS OF TWO TO SEVEN STOREYS, COMPRISING 124 SELF-CONTAINED FLATS, CAR AND CYCLE PARKING, VEHICLE ACCESS, LANDSCAPING, PLANT AND ASSOCIATED WORKS
LPA Recommendation: Grant subject to 106 (Refused at Committee)
Appeal Decision: **ALLOWED**
Date of Appeal Decision: 12th November 2021

[LINK TO DECISIONS](#)

Application Number: **20/P2140**
Appeal number: APP/T5720/W/ 21/3273819
Site: Alpine Works, Hallowell Close, Mitcham CR4 2QD
Development: ERECTION OF A SINGLE STOREY FRONT EXTENSION, CHANGE OF USE FROM B8 STORAGE TO C3 RESIDENTIAL FOR THE CREATION OF 2 x 1 BED SELF-CONTAINED FLATS
LPA Decision: Refused (Delegated)
Appeal Decision: DISMISSED
Date of Appeal Decision: 25th November 2021

[LINK TO DECISION](#)

Application Number: **20/P2541**
Appeal number: APP/T5720/W/20/3264871
Site: 19 Robinson Road, Tooting SW17 9DQ
Development: EXTERNAL STAIR ACCESS TO FIRST FLOOR FLAT
LPA Decision: Refused (Delegated)
Appeal Decision: DISMISSED
Date of Appeal Decision: 25th November 2021

[LINK TO DECISION](#)

Application Number: 20/P3713
Appeal number: APP/T5720/H/21/3271447
Site: 89 Worple Road, Wimbledon SW19 4JG
Development: TELECOM PRIOR APPROVAL FOR THE ERECTION OF A 15 METRE HIGH MONOPOLE WITH 1 x BUILT-IN CABINET AT BASE, 3 x FREE-STANDING CABINETS AND ANCILLARY WORKS ON PAVEMENT IN CAMBRIDGE ROAD
LPA Decision: Refused (Delegated)
Appeal Decision: DISMISSED
Date of Appeal Decision: 4th November 2021

[LINK TO DECISION](#)

Application Number: 20/P3794
Appeal number: APP/T5720/W/21/3270978
Site: 243 London Road, Mitcham CR4 3NH
Development: CREATION OF 1 x 1 BED SELF CONTAINED FLAT, INVOLVING ERECTION OF GROUND & FIRST FLOOR REAR EXTENSIONS
LPA Decision: Refused (Delegated)
Appeal Decision: DISMISSED
Date of Appeal Decision: 6th November 2021

[LINK TO DECISION](#)

Application Number: 21/P1366
Appeal number: APP/T5720/D/21/3281161
Site: 78 Kenilworth Avenue, Wimbledon SW19 7LR
Development: DEMOLITION OF EXISTING SINGLE STOREY REAR EXTENSION AND ERECTION OF A TWO STOREY REAR EXTENSION AND FRONT AND REAR ROOF EXTENSIONS. INSTALLATION OF ROOFLIGHTS TO FRONT AND REAR ROOF SLOPES.
LPA Decision: Refused (Delegated)
Appeal Decision: DISMISSED
Date of Appeal Decision: 6th November 2021

[LINK TO DECISION](#)

Alternative options

- 3.1 The appeal decision is final unless it is successfully challenged in the Courts. If a challenge is successful, the appeal decision will be quashed and the case returned to the Secretary of State for re-determination. It does not follow necessarily that the original appeal decision will be reversed when it is re-determined.
- 3.2 The Council may wish to consider taking legal advice before embarking on a challenge. The following applies: Under the provision of Section 288 of the Town & Country Planning Act 1990, or Section 63 of the Planning (Listed Buildings and Conservation Areas) Act 1990, a person or an establishment who is aggrieved by a decision may seek to have it quashed by making an application to the High Court on the following grounds: -
1. That the decision is not within the powers of the Act; or
 2. That any of the relevant requirements have not been complied with; (relevant requirements means any requirements of the 1990 Act or of the Tribunal's Land Enquiries Act 1992, or of any Order, Regulation or Rule made under those Acts).

1 CONSULTATION UNDERTAKEN OR PROPOSED

- 1.1. None required for the purposes of this report.

2 TIMETABLE

- 2.1. N/A

3 FINANCIAL, RESOURCE AND PROPERTY IMPLICATIONS

- 3.1. There are financial implications for the Council in respect of appeal decisions where costs are awarded against the Council.

4 LEGAL AND STATUTORY IMPLICATIONS

- 4.1. An Inspector's decision may be challenged in the High Court, within 6 weeks of the date of the decision letter (see above).

5 HUMAN RIGHTS, EQUALITIES AND COMMUNITY COHESION IMPLICATIONS

- 5.1. None for the purposes of this report.

6 CRIME AND DISORDER IMPLICATIONS

6.1. None for the purposes of this report.

7 RISK MANAGEMENT AND HEALTH AND SAFETY IMPLICATIONS

7.1. See 6.1 above.

8 BACKGROUND PAPERS

8.1. The papers used to compile this report are the Council's Development Control service's Town Planning files relating to the sites referred to above and the agendas and minutes of the Planning Applications Committee where relevant.

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Committee: Planning Applications Committee

Date: 9th December 2021

Agenda item:

Wards: All

Subject: PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES

Lead officer: HEAD OF SUSTAINABLE COMMUNITIES

Lead member: CABINET MEMBER FOR REGENERATION, HOUSING AND
TRANSPORT COUNCILLOR MARTIN WHELTON

COUNCILLOR DAVE WARD, CHAIR, PLANNING APPLICATIONS COMMITTEE

Contact Officer Ray Littlefield: 0208 545 3911
Ray.Littlefield@merton.gov.uk

Recommendation:

That Members note the contents of the report.

1. Purpose of report and executive summary

This report details a summary of casework being dealt with by the Planning Enforcement Team and contains figures of the number of different types of cases being progressed, with brief summaries of all new enforcement notices and the progress of all enforcement appeals.

Current Enforcement Cases:	581	¹ (574)	New Appeals:	(0)	(0)
New Complaints	38	(40)	Instructions to Legal	0	(0)
Cases Closed	31		Existing Appeals	2	(2)
No Breach:	22		<hr/>		
Breach Ceased:	9		TREE ISSUES		
NFA ² (see below):	0		Tree Applications Received	50	(32)
Total	31		% Determined within time limits:	50 %	
New Enforcement Notices Issued			High Hedges Complaint	0	(1)
Breach of Condition Notice:	0		New Tree Preservation Orders (TPO)	2	(2)
New Enforcement Notice issued	0	(0)	Tree Replacement Notice	0	
S.215: ³	0		Tree/High Hedge Appeal	0	(0)
Others (PCN, TSN)	1	(1)			
Total	1	(1)			
Prosecutions: (instructed)	0	(0)			

Note (**figures are for the period from (from 3rd November 2021 to 30th November 2021)**). The figure for current enforcement cases was taken directly from M3 crystal report.

¹ Totals in brackets are previous month's figures

² confirmed breach but not expedient to take further action.

³ S215 Notice: Land Adversely Affecting Amenity of Neighbourhood.

It should be noted that due to the pandemic the Planning Inspectorate have over a years backlog of planning enforcement appeals to determine.

2.0 New Enforcement Actions

TRUSTFORD, 67 – 71 PLOUGH LANE, TOOTING, SW19 0BW. On the 14th May 2021, 11 trees were removed from the front boundary to the property. This property is located within the Wandle Valley Conservation Area, and the statutory notice of 6 weeks prior to the commencement of tree work was not given to this Authority. This case is currently under investigation with a view to taking enforcement action. Trustford have begun planting new trees on the site. 12 new Silver Birch trees have been planted alongside the boundary with the River Wandle. New trees are proposed to be planted along the boundary to the front of the site in September, with an additional underplanting of shrubs.

All of the trees have now been replaced with new trees, as requested.

52B Russell Road, Wimbledon, London, SW19 1QL. This is regarding the erection of a 2 metre boundary fence, facing the highway, which had a retrospective planning application submitted ref: 20/P2317 and refused. The applicant appealed the decision to the Planning Inspectorate. The appeal was dismissed on 14th June 2021. An enforcement notice was issued on 13th September 2021 to remove the fence. The Notice took effect on 15th October 2021 with a one calendar month period of time for compliance. This Notice has now been fully complied with.

Land to the rear of 42 Tamworth Lane, Mitcham, CR4 1DA. This is concerning a s215 notice served on untidy land. A s215 notice was issued on 10th May 2021. This notice requires compliance at the end of July 2021 requiring the Land to be tidied up / cleared. The Council have now taken Direct Action and cleared the land.

The Land is again being fly tipped a further s215 Notice is under consideration, to include enclosing the Land and clearing the untidy Land.

193 London Road, CR4 2JD. This is concerning a s215 notice served on untidy land. A s215 notice was issued on 1st December 2020. This notice requires compliance at the end of February 2021 requiring the Land to be tidied up / cleared. The Land is actively being cleared.

283 Galpins Road CR7 6EY. This is concerning a s215 notice served on untidy land. A s215 notice was issued on 23 December 2019. This notice required compliance at the end of February 2020 requiring the Land to be tidied up / cleared. Site visit arranged.

31 Edgehill Road, Mitcham, CR4 2HY. This is concerning a raised platform/garden that has been raised by approximately 90cm. An enforcement notice has been served to remove the raised platform and reduce the garden level by 90cm. The notice would have taken effect on 18/12/19, with a compliance date of 18/03/20, however an appeal has been submitted and is underway.

155 Canterbury Road, Morden, SM4 6QG. This is concerning an outbuilding in the rear garden that has had a retrospective planning application refused. An enforcement notice has been served on the property for the outbuilding to be demolished, the notice would have taken effect on 9th December 2019 and the compliance period would have been two months. However it has now been appealed to the Planning Inspectorate. The appeal was dismissed by Decision letter dated 19th August 2020. The compliance date i.e. Demolish the unauthorised rear outbuilding is 19th December 2020. Site visit to be arranged.

208 Bishopsford Road, Morden, SM4 6DA. This is concerning the erection of a single storey rear extension onto an existing extension on the ground floor. A Planning Enforcement Notice has been issued requiring the demolition of the Extension. The Notice was issued on 4th October 2019, the Notice came into effect on 10th November 2019 with a compliance period of 3 months, unless an appeal was made before 10th November 2019. An appeal was submitted but rejected by the Planning Inspectorate as it was received by The Planning Inspectorate one day late. Compliance date was 10th February 2020. Further action is under consideration. A new planning application for a reduced structure has now been recommended for approval.

The former laundry site, 1 Caxton Road, Wimbledon SW19 8SJ. Planning Permission was granted for 9 flats, with 609square metres of (Class B1) office units. 22 flats have been created. A Planning Enforcement Notice was issued on 11th October 2018 requiring either the demolition of the development or building to the approved scheme.

The Notice took effect on 18th November 2018 with a compliance period of 12 calendar months. An appeal was made but subsequently withdrawn the following day. The owner decided to comply with the approved permission and is in the process of returning some the residential units back to their authorised office use. Bath and shower units have been removed; the office units are currently being advertised for let. The garage flat is no longer being used for residential and is in the process of being returned to a garage. Planning Application 19/P1527 for Discharge of Conditions has been submitted and is currently being considered. Revised scheme re-sub-mitted and approved.

Works are underway to expose the depth and boundary of the foundations in order to confirm an alternative landscaping scheme is feasible. A further scheme is under consideration. A finale inspection is to be undertaken as the requested works / Landscaping has now been carried out.

This Planning Enforcement Notice has now been satisfactorily complied with.

6 CARTMEL GARDENS, MORDEN SM4 6QN: (Notice 2) This is regarding a side extension not built in accordance with approved plans and being used as a self contained unit of accommodation. A planning Enforcement Notice was subsequently issued on 24th September 2019 and took effect on 24th October 2019. The Notice requires the cessation of the use of side extension as separate self-contained unit, and the removal of all those fixtures and fittings that facilitate the unauthorised use of the extension including the permanent removal of the facilities in use for cooking facilities, kitchen unit, sink, worktop, appliances, and food preparation areas. This Notice has a compliance period of 3 calendar months. An appeal was submitted but subsequently withdrawn. A second Notice was subject of an appeal now determined.

Some Recent Enforcement Actions

7 Streatham Road, Mitcham, CR4 2AD

The Council served two enforcement notices on 6th June 2019, requiring the outbuilding to be demolished and to clear debris and all other related materials.

The second enforcement notice is for an unauthorised front, side and rear (adjacent to Graham Road) dormer roof extensions. An appeal was lost for the dormers to be considered permitted development, the notice requires the owner to demolish the unauthorised front, side and rear roof dormer extensions (adjacent to Graham Road) and to clear debris and all other related materials. Both Notices came into effect on 8th July 2019 unless appeals were made before this date. No appeals were lodged.

The compliance date of the Enforcement Notice relating to the outbuilding to be demolished and to clear debris and all other related materials has now passed without compliance. The second enforcement notice was not complied with and now prosecution proceedings are being undertaken.

The plea hearing has now taken place at Lavender Hill Magistrates Court, where the defendant pleaded not guilty and the second hearing is due on the 14th January 2020.

A second hearing was held on 14th January 2020, and adjourned until 4th February 2020 in order for the defendant to seek further legal advice.

The defendant again appeared in court and pleaded not guilty, a trial date was set for 21st May 2020. Due to the Covid-19 pandemic this has been postponed. The case has been listed for a 'non-effective' hearing on Tuesday 14 July 2020, where a new trial date will be set.

This was postponed until another date yet to be given. The Council has now instructed external Counsel to prosecute in these matters.

The next 'non-effective' hearing date is 2nd October 2020. This date has been re-scheduled to 27th November 2020. This was again re-scheduled to 4th January 2021. Outcome not known at the time of compiling this report.

A trial date has now been set for 28th and 29th April 2021.

At trial the defendant changed his plea from not guilty to guilty on the two charges of failing to comply with the two Planning Enforcement Notices, however due to the current appeals with the Planning Inspectorate relating to two planning application appeals associated with the two illegal developments, sentencing was deferred until 7th October 2021 at Wimbledon Magistrates Court.

The two planning appeals were dismissed by Decision letters dated 5th October 2021.

Sentencing has again be deferred until 16th December 2021 at Wimbledon Magistrates Court.

6 CARTMEL GARDENS, MORDEN SM4 6QN: (Notice 1) This is regarding a side extension not built in accordance with approved plans. A planning Enforcement Notice was subsequently issued on 24th September 2019 and would have taken effect on 24th October 2019. The notice requires the demolition of the rear extension. This Notice has a compliance period of 3 calendar months. An Appeal was electronically submitted. This Appeal has now been determined by Decision letter dated 23rd June 2020. The Appeal was dismissed and the Enforcement Notice upheld. The compliance period is 3 months from the date of the Decision letter. Direct action is now under consideration.

183A Streatham Road CR4 2AG. An Enforcement Notice was issued on 1st May 2019 relating to the erection of a rear balcony to the existing rear roof dormer of the property. The Notice requires demolishing the rear balcony to the existing rear roof dormer and restoring the property to that prior to the breach. The Notice would have taken effect on 4th June 2019, with a compliance period of 2 months. An Appeal to The Planning Inspectorate has been made. The appeal was determined by Decision letter dated 18th March 2020. The appeal was dismissed with a slight variation of the wording of the enforcement Notice. The Enforcement Notice had a 2 months compliance period. A further site inspection found that the Enforcement Notice has been complied with.

47 Edgehill Road CR4 2HY. This is concerning a rear extension not being built to the dimensions provided on the prior approval application. A Planning Enforcement Notice was subsequently issued requiring the demolition of the single storey rear extension. The Notice would have taken effect took effect on 16th September 2019, with a compliance period of 3 calendar months. An Appeal has started. This Appeal has now been determined by Decision letter dated 16th July 2020. The appeal was allowed and the Enforcement Notice quashed.

33 HASSOCKS ROAD, LONDON. SW16 5EU: This was regarding the unauthorised conversion from a single dwelling into 2 x self contained flats against a refusal planning permission. A planning Enforcement Notice was subsequently issued on 10th September 2019 and would have taken effect on 15th October 2019. This Notice has a compliance period of 3 calendar months, unless an appeal is made to the Planning Inspectorate before the Notice takes effect. An Appeal has been submitted, and has started. The appeal site visit was postponed, by The Planning Inspectorate. This Appeal has now been determined by Decision letter dated 17th July 2020. The Appeal was dismissed and the Enforcement Notice upheld. The Notice was varied and the time for compliance extended from 3 months to 6 months from the date of the Appeal Decision letter. However, minor costs were awarded to the appellant for extra work and or time that had been spent on the appeal that were not needed.

76 Shaldon Drive, Morden, SM4 4BH. An enforcement notice was served on 14th August 2019 relating to an outbuilding being used as a self-contained unit. The notice requires the removal of all kitchen facilities, fixtures, fittings, cooker, worktops, kitchen units. The notice takes effect on 16th September 2019, with a compliance period of 1 month. An Appeal has been electronically submitted, This Appeal has now started. The date of the Planning Inspectors site visit was 20th October 2020.

By Decision Letter dated 4th November 2020 the appeal was dismissed and the Enforcement Notice was upheld. The compliance date was 4th December 2020. The owner claims the requirements of the Notice have been met and an inspection is to be carried out.

Existing enforcement appeals

2

Appeals determined

0

New Enforcement Appeals

0

3.4 Requested update from PAC

None

4. Consultation undertaken or proposed

None required for the purposes of this report

5 Timetable

N/A

6. Financial, resource and property implications

N/A

7. Legal and statutory implications

N/A

8. Human rights, equalities and community cohesion implications

N/A

9. Crime and disorder implications

N/A

10. Risk Management and Health and Safety implications.

N/A

11. Appendices – the following documents are to be published with this report and form part of the report Background Papers

N/A

12. Background Papers